

Hillside Avenue

Amesbury, MA

November 23, 2021



DRAWING LIST	
CIVIL	ARCHITECTURAL
C-0 COVER SHEET	A-1 PROJECT DESIGN OVERVIEW
C-1 EXISTING CONDITIONS PLAN	A-2 PROPOSED FIRST FLOOR PLAN
C-2 SITE LAYOUT PLAN	A-3 PROPOSED SECOND FLOOR PLAN
C-3 GRADING, DRAINAGE, AND UTILITY PLAN	A-4 PROPOSED THIRD FLOOR PLAN
D-1 CONSTRUCTION DETAIL SHEET	A-5 EAST & SOUTH ELEVATIONS
L-1 LANDSCAPE PLAN	A-6 WEST & NORTH ELEVATIONS
	A-7 FRONT PERSPECTIVE
	A-8 REAR PERSPECTIVE

Owner:

Angiolillo Management Group Inc.

99 Walnut St, Saugus, MA 01906

Architect:

DMS design, llc

5 Essex Green Drive, Suite 11A, Peabody, MA, 01960

Civil Engineer:

Engineering Alliance, Inc.

194 Central St, Saugus, MA 01906
(781) 231-1349

Land Surveyor:

Boston Surveyor

4 Shipway Place, Charlestown, MA
(617) 242-1313

Revisions:		
#	Issue	Date

DMS
design, llc

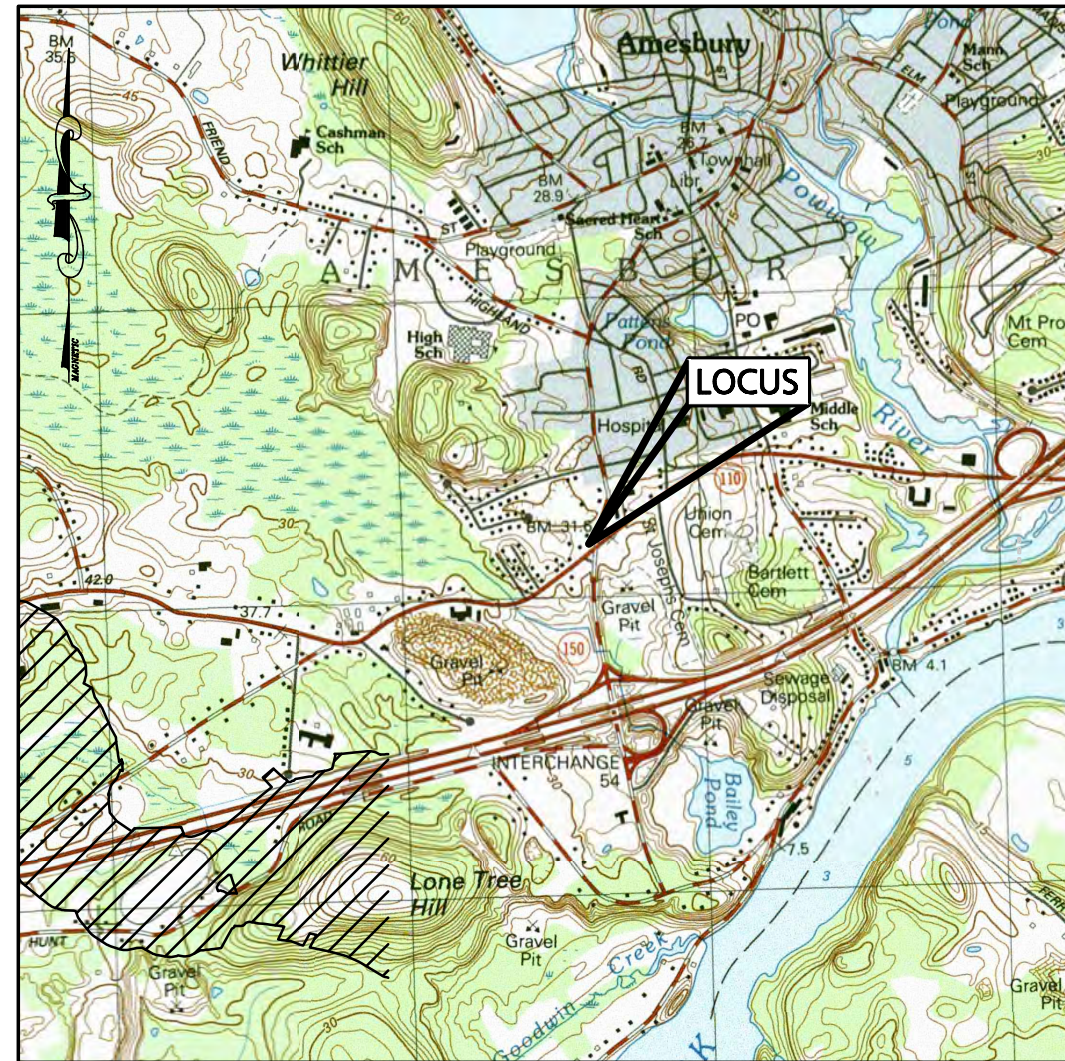
ARCHITECTURE &
INTERIOR DESIGN

5 Essex Green Drive
Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

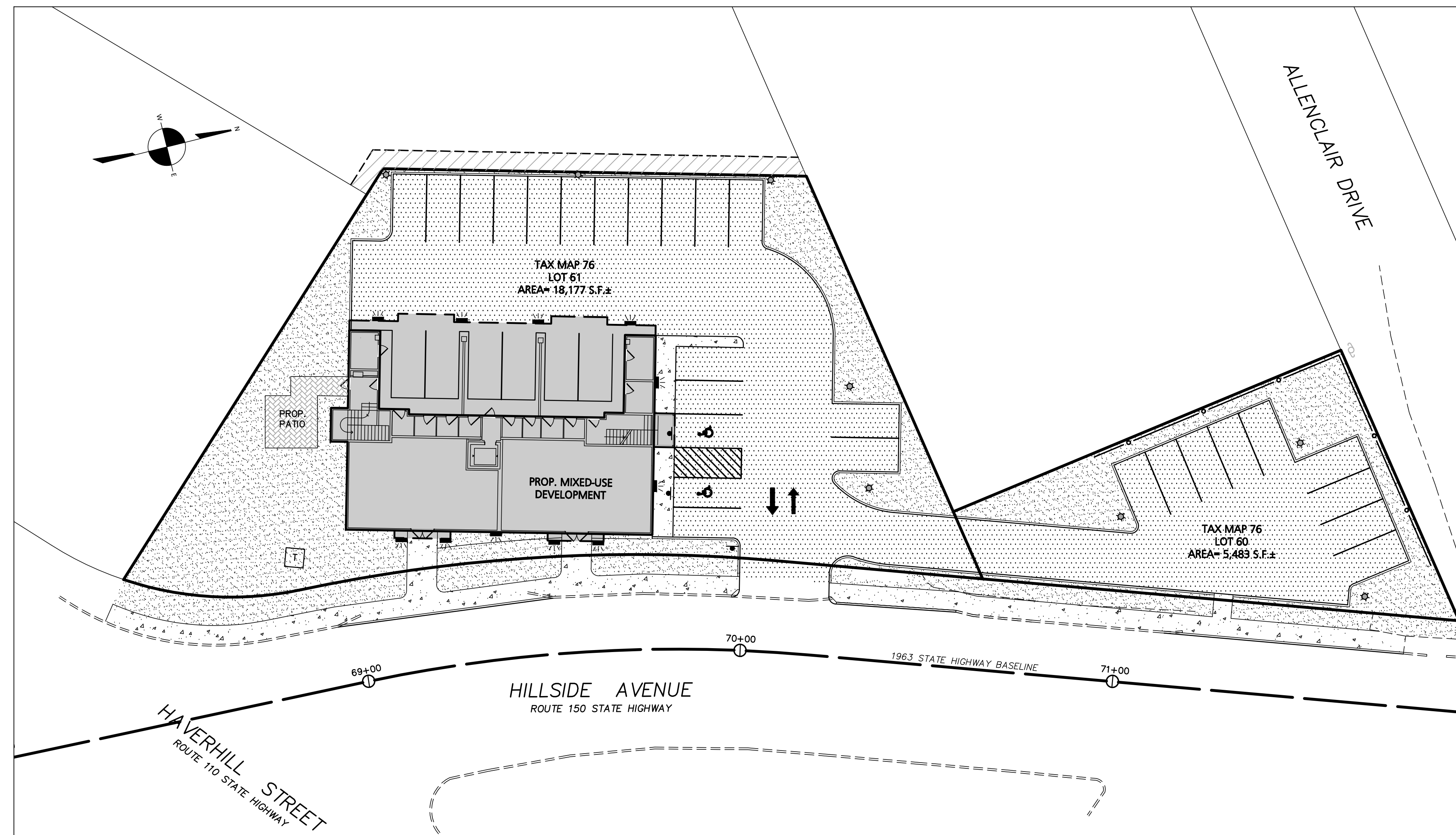
Hillside Avenue
Amesbury, MA

COVER SHEET

Scale:
Date: November 23, 2021
Drawn By: DMS Team



PROPOSED MIXED USE DEVELOPMENT
(TAX MAP 76 LOTS 60 & 61)
41 HILLSIDE AVENUE
AMESBURY, MASSACHUSETTS 01913



APPLICANT:
ANGIOLILLO MANAGEMENT GROUP INC.
99 WALNUT STREET
SAUGUS, MA 01906

CIVIL ENGINEER:
ENGINEERING ALLIANCE, INC.
194 CENTRAL STREET
SAUGUS, MA 01906
(781) 231-1349

LAND SURVEYOR
BOSTON SURVEYOR
4 SHIPWAY PLACE
CHARLESTOWN, MA
(617)-242-1313

SHEET INDEX


- C-0 Cover Sheet
- C-1 Existing Conditions Plan
- C-2 Site Layout Plan
- C-3 Grading, Drainage, and Utility Plan
- C-4 Lighting Plan
- C-5 Erosion Control Plan
- L-1 Landscape Plan
- D-1 Construction Detail Sheet

PREPARED BY:

PROJECT:

OWNER :

PREPARED BY:

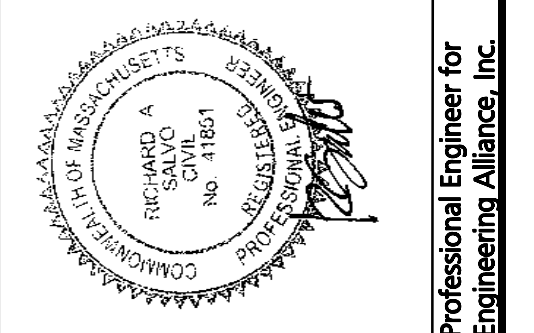


Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
1950 Lafayette Road
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

Portsmouth, NH 03801
Tel: (603) 637-0010
Fax: (603) 6107101

Site Development Plan
39 & 41 Hillside Avenue
Amesbury, Massachusetts

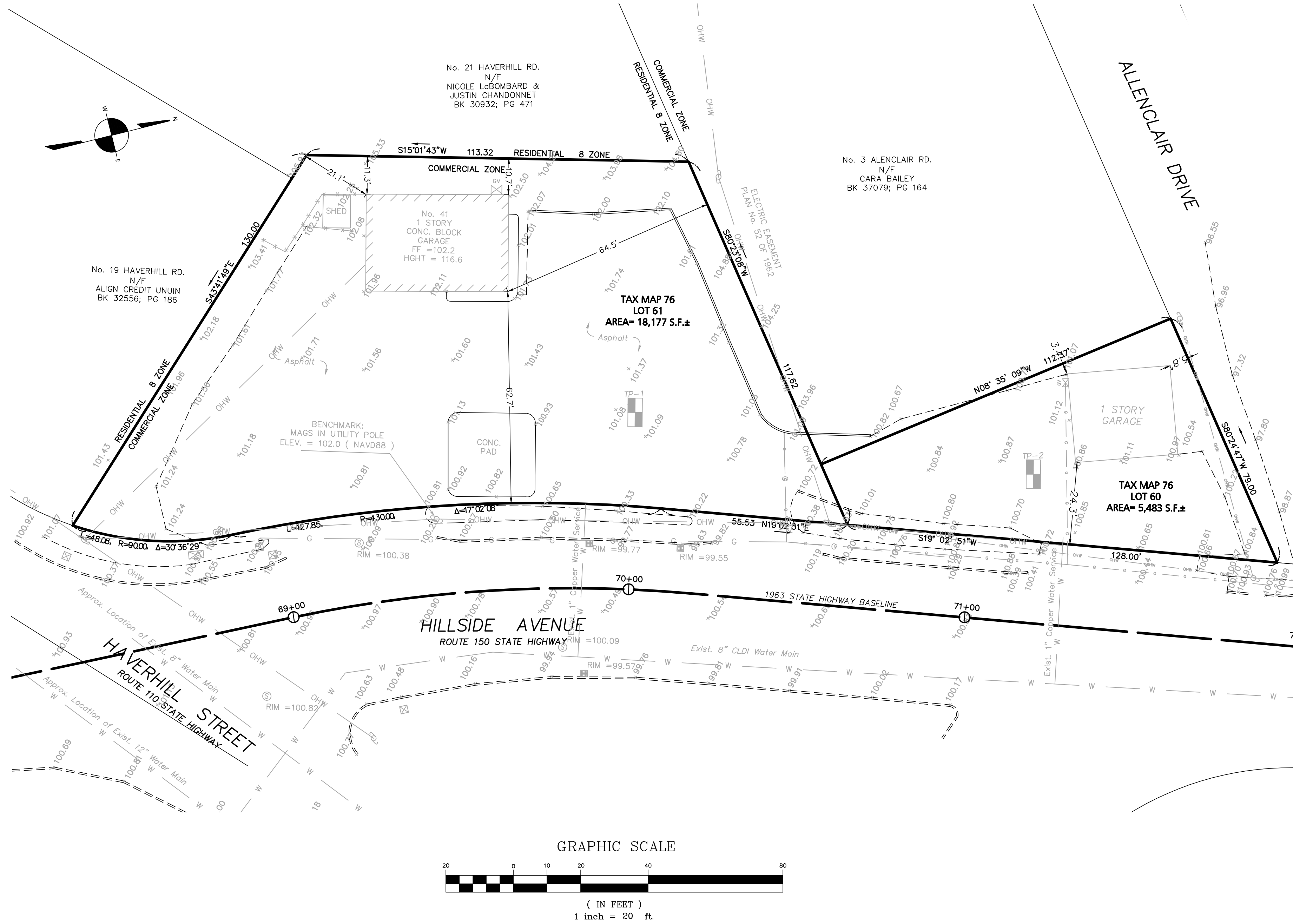
PROJECT #: 21-76801	DATE: October 26, 2021
SCALE: AS NOTED	DWG FILE NAME: 21-76801.dwg
DESIGN BY: Max Friedman	CHECKED BY: Richard A. Salvo P.E.



**Angiolillo Management
Group Inc.**
99 Walnut Street
Saugus, MA 01906

VG. NO.	DRAWING TITLE:
C-0	Cover Sheet

	REVISD PER DESIGN REVIEW COMMENTS
DATE	DESCRIPTION OF REVISION
11/22/21	



LEGEND - EXISTING CONDITIONS PLAN

PROPERTY LINE	— — — — —
EXISTING BUILDING	▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨
EXISTING EDGE OF PAVEMENT	— — — — —
EXISTING CURB	— — — — —
EXISTING CHAIN LINK FENCE	— — — — —
EXISTING WATER LINE	— W — W — W —
EXISTING WATER VALVE	WV
EXISTING HYDRANT	HY
EXISTING SEWER LINE	— S — S — S —
EXISTING SEWER MANHOLE	SM
EXISTING GAS LINE	— G — G — G —
EXISTING GAS VALVE	GV
EXISTING UTILITY POLE	UP
EXISTING SPOT SHOT	X 99.99

GENERAL NOTES

OWNER OF RECORD: ANGIOLILLO MANAGEMENT GROUP INC,
99 WALNUT STREET
SAUGUS, MA 01906

DEED REFERENCE: BOOK 37464, PAGE 344
DEED REFERENCE: BOOK 36487, PAGE 19

TAX MAP REFERENCE: MAP 76 LOTS 60 & 61

EXISTING CONDITIONS INFORMATION OBTAINED FROM AN ACTUAL ON
THE GROUND SURVEY PREPARED BY BOSTON SURVEY, INC. ON
MARCH 20, 2021

DATUM REFERENCE: NAVD 88
ACCORDING TO THE F.E.M.A. MAP FOR ESSEX COUNTY, MAP No.
25009C0106F, DATED JULY 3, 2012, THE SUBJECT PROPERTY IS LOCATED
IN A ZONE X.

SOIL TEST PIT DATA

SOIL TESTING AND EVALUATION BY: ERIC J. BRADANESE
ENGINEERING ALLIANCE, INC. - SE 13860
DATE OF TEST: 11/9/2021

TP-1 APPROX. GRADE EL. 101.08±	TP-2 APPROX. GRADE EL. 100.80±
EXIST. PAVEMENT 0"	EXIST. PAVEMENT 0"
FILL COARSE SAND 10YR 4/6	FILL COARSE SAND 10YR 4/6
56"	B HORIZON LOAM 10YR 5/8
96"	C HORIZON LOAMY SAND 10 YR 4/6
WEeping OBSERVED: NONE STANDING WATER: NONE MOTTLES OBSERVED: NONE	WEeping OBSERVED: NONE STANDING WATER: NONE MOTTLES OBSERVED: NONE

OWNER: Angiolillo Management Group Inc.
39 & 41 Hillside Avenue
Amesbury, Massachusetts

DWG. NO. C-1

PROJECT: Site Development Plan
39 & 41 Hillside Avenue
Amesbury, Massachusetts

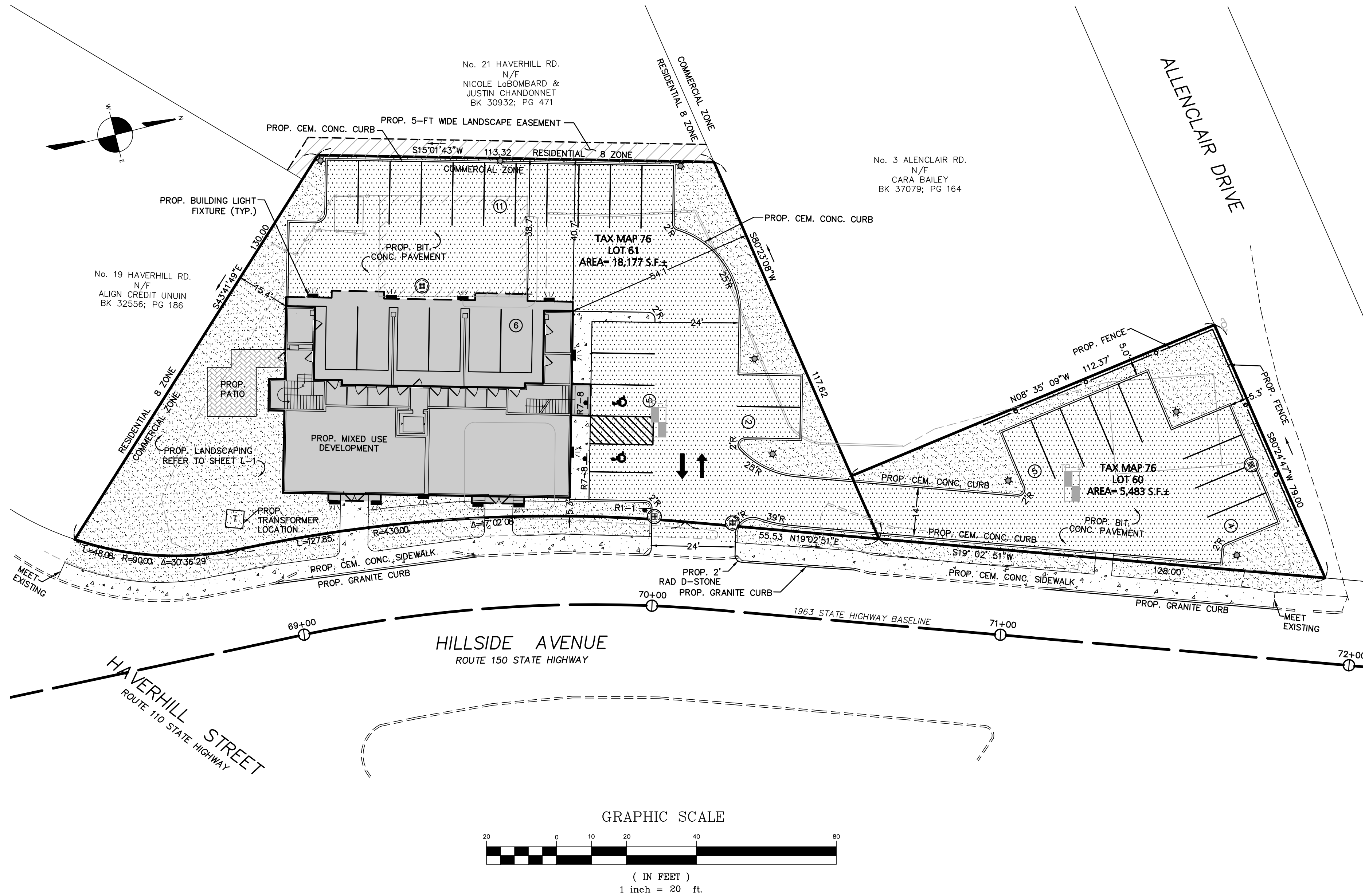
PROJECT # : 21-76801
SCALE: AS NOTED
DESIGN BY: Max Friedman

PREPARED BY: Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (603) 231-1349
Fax: (603) 417-0020

PREPARED BY: BOSTON SURVEY, INC.
UNIT 24, BAYVIEW PLAZA
CHARLESTOWN, MA 02129
(617) 242-1313
www.bostonurveyinc.com

DRAWING TITLE: Existing Conditions

DATE: 11/22/21
REVISED PER DESIGN REVIEW COMMENTS



PROPERTY LINE	
PROPOSED STRIPING	
PROPOSED BUILDING	
PROPOSED BUILDING LINE ABOVE	
PARKING COUNT	(11)
PROPOSED CURBING	
PROPOSED BITUMINOUS CONCRETE	
PROPOSED LANDSCAPED AREA	
WALL PACK LIGHTING UNIT	
BOLLARD LIGHT	

DIMENSIONAL AND DENSITY REGULATIONS (Commercial District)			
ITEM	REQUIRED	PROVIDED	RELIEF REQUIRED
MINIMUM LOT AREA	20,000 S.F.	23,660 S.F.	NO
MINIMUM FRONTAGE	100 FT	231.5 FT	NO
MINIMUM FRONT YARD SETBACK	5 FT ⁽¹⁾	5.3 FT	NO
MINIMUM SIDE YARD SETBACK	15 FT	15.4 FT	NO
MINIMUM REAR YARD SETBACK	40 FT	40.7 FT	NO
MAX STORIES	4	3	NO
MAX HEIGHT	40 FT	31.5	NO
MAXIMUM BUILDING AREA	40%	17.3%	NO
MINIMUM OPEN SPACE	15% ⁽²⁾	30.1%	NO

NOTE:

- THE FRONT-YARD SETBACK SHALL BE REDUCED TO (5) FEET IN CASES WHERE DEVELOPMENT INVOLVES MIXED-USE BUILDINGS.
- THE MINIMUM OPEN SPACE SHALL BE REDUCED TO (15) PERCENT WHERE DEVELOPMENT INCLUDES: 1) ON-SITE PEDESTRIAN USE AREAS SUCH AS BRICK PLAZAS, WALKWAYS, STREET FURNITURE (I.E. PERIOD LIGHTING, TRASH RECEPTACLES, BENCHES) AND SEATING AREAS AND 2) A MIXED-USE BUILDING.

PARKING CALCULATIONS

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY (8 RESIDENTIAL UNITS)	12 SPACES 1.5 SPACE PER UNIT 8 UNITS X 1.5 SPACE PER UNIT	26 SPACES (Outdoor Standard Parking) 2 SPACES (Outdoor Accessible Parking)
RETAIL (2 RETAIL UNITS)	8 SPACES 3.3 SPACE PER 1,000 FT OF GFA	6 SPACES (Indoor Standard Parking)
TOTAL	20 SPACES	33 SPACES

* STANDARD PARKING SPACE 9'x18'

SIGN TABLE

REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT (GROUND TO BOTTOM OF SIGN)	DESCRIPTION	REFLECTORIZED
R7-8		12" X 20"	7' - 0"	BLUE ON WHITE	YES
R1-1		24" X 24"	7' - 0"	WHITE ON RED	YES

PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (603) 610-1000
Fax: (603) 610-1001

Site Development Plan
39 & 41 Hillside Avenue
Amesbury, Massachusetts

PROJECT:

Angiolillo Management Group Inc.
99 Walnut Street
Saugus, MA 01906

OWNER:

Site Plan Layout

DWG. NO.

C-2

DRAWING TITLE:

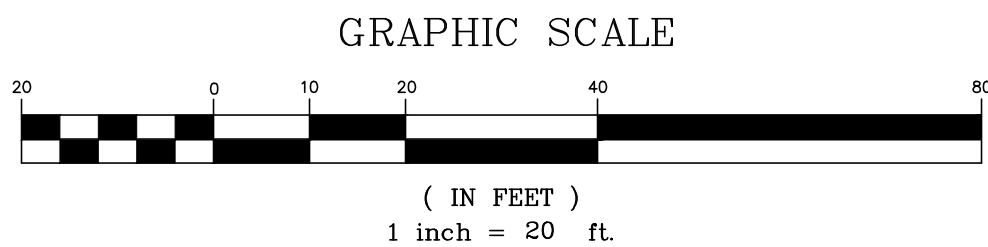
Professional Engineer for
Engineering Alliance, Inc.

PROJECT # : 21-76801
DATE: October 26, 2021
SCALE: AS NOTED
DWG FILE NAME: 21-76801.dwg
DESIGN BY: Max Friedman
CHECKED BY: Richard A. Salvo P.E.

REVISED PER DESIGN REVIEW COMMENTS

DESCRIPTION OF REVISION

11/22/21
DATE



SOIL TESTING AND EVALUATION BY: ERIC J. BRADANES
ENGINEERING ALLIANCE, INC. - SE 13860
DATE OF TEST: 11/9/2021

WEeping OBSERVED: NONE
STANDING WATER: NONE
MOTTLES OBSERVED: NONE

WEeping OBSERVED: NONE
STANDING WATER: NONE
MOTTLES OBSERVED: NONE

1. ALL CATCH BASINS SHALL BE EQUIPPED WITH A HOOD AND 4-IN. MIN. SUMP.
2. ALL STORM DRAINAGE PIPES SHALL BE 12" MIN. HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE SMOOTH INSIDE UNLESS OTHERWISE NOTED.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10'-FT OF THE BUILDING WALLS.
5. ALL ROOF DRAINAGE SHALL BE INFILTRATED VIA THE SUB-SURFACE DRAINAGE SYSTEM. CONNECTION POINTS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE A TEST PIT IN THE VICINITY OF THE SUBSURFACE INFILTRATION SYSTEM TO CONFIRM THE FOLLOWING:
 - MINIMUM OF 2-FT SEPARATION BETWEEN THE BOTTOM OF SYSTEM AND ESTIMATED SEASONAL HIGH GROUNDWATER TABLE.
 - ON-SITE SOILS WILL PROVIDE AN INFILTRATION RATE OF AT LEAST 2.41 IN/HR

SOIL TESTING SHALL BE SCHEDULED WITH THE CITY OF AMESBURY ENGINEERING DEPARTMENT SO THAT THE CITY MAY WITNESS THE TEST. SOIL TEST RESULTS SHALL BE PROVIDED TO THE CITY OF AMESBURY ENGINEERING DEPARTMENT PRIOR TO THE INSTALLATION OF THE DRAINAGE SYSTEM.

PROPERTY LINE	
PROPOSED BUILDING	
PROPOSED DRAIN LINE	
PROPOSED CATCH BASIN	
PROPOSED CDS UNIT	
PROPOSED SEWER LINE	
PROPOSED WATER LINE	
PROPOSED GAS LINE	
PROPOSED ELECTRIC LINE	
PROPOSED TRANSFORMER	
PROPOSED CONTOUR	
PROPOSED SPOT SHOT	+15.57

1. ALL EXISTING SITE FEATURES OUTSIDE THE BUILDING SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
2. DATUM: NAVD88
3. THE CONTRACTOR SHALL BE SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISCEAT" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
5. THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES..
6. ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF AMESBURY, AND IS SUBJECT TO QUALITY CONTROL TESTING AT THE DISCRETION OF THE ENGINEERING DEPT. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE CITY OF AMESBURY D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
7. ALL UTILITY WORK WITHIN ANY RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY MASSDOT AND THE AMESBURY DPW.
8. ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
10. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
11. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
12. DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT & SHALL SUBMIT AUTOCAD "AS-BUILT" TO THE ENGINEERING DEPT. UPON COMPLETION OF THE BUILDING & UTILITY WORK.

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PROJECT:

**Angiolillo Management
Group Inc.**
99 Walnut Street
Saugus, MA 01906

Grading, Draining & Utility Plan

C-3

PREPARED BY:



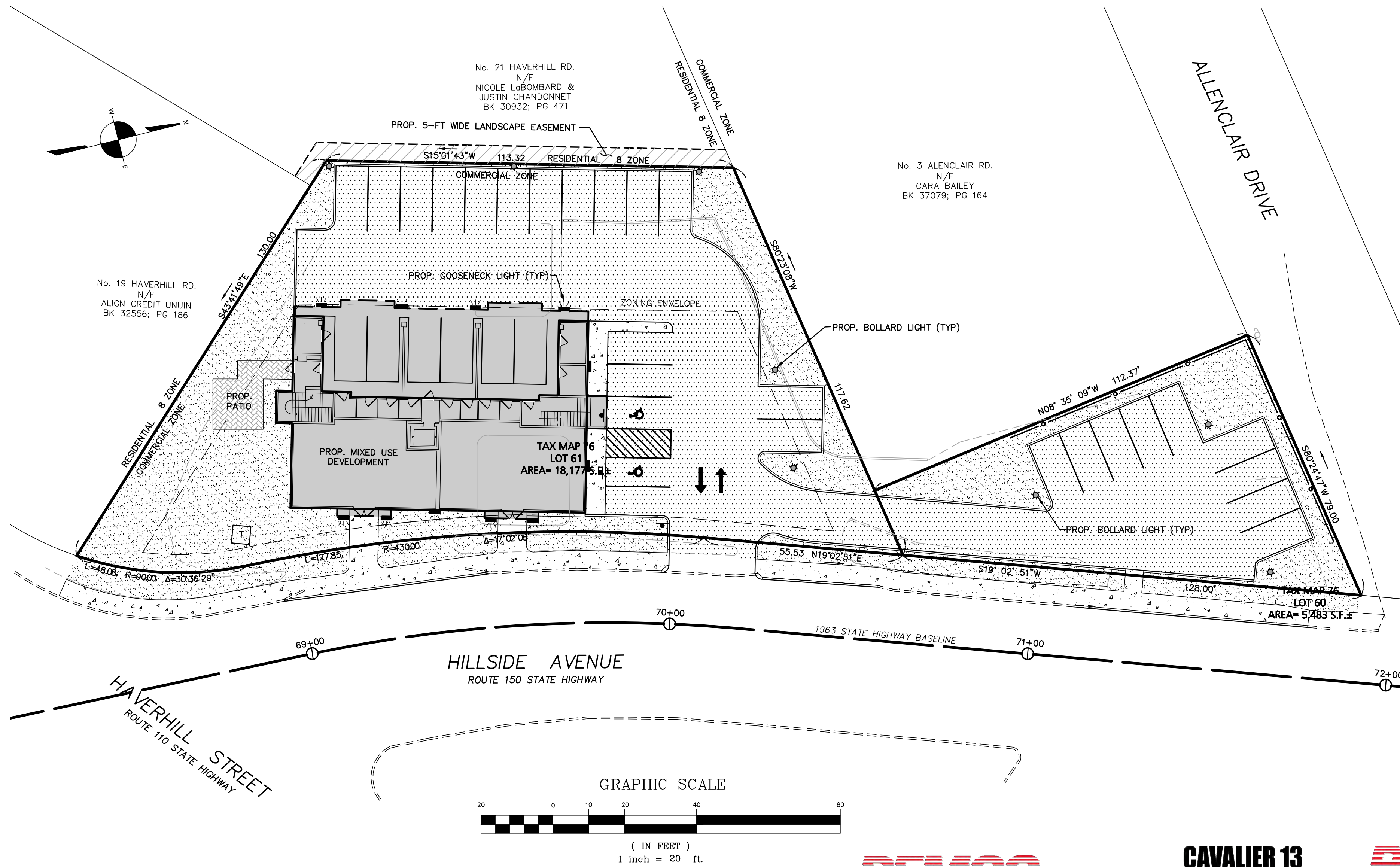
Engineering Alliance, Inc.

1914 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

REVISER PER DESIGN REVIEW COMMENTS	DESCRIPTION OF REVISION

11/22/2022

South, NH 03801
 : (603) 610-7100
 k: (603) 6107101



PROPERTY LINE	
PROPOSED STRIPING	
PROPOSED BUILDING	
PROPOSED BUILDING LINE ABOVE	
PARKING COUNT	11
PROPOSED CURBING	
PROPOSED BITUMINOUS CONCRETE	
PROPOSED LANDSCAPED AREA	
WALL PACK LIGHTING UNIT	
BOLLARD LIGHT	

PEMCO LIGHTING PRODUCTS A QSSI COMPANY

CAVALIER 13 ROUND & SQUARE

BOLLARD LIGHTING

187,000 Hours

PEMCO's CAVALIER 13 & CAVALIER 13S Cutoff Bollards with UV-stabilized polycarbonate lenses and sealed optical compartments are designed to replace HID lighting systems up to 70w MH or HPS. These bollards are ideal for retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities.

Specifications and Features:

Housing: Extruded Aluminum Housing with Flush Mounting Base, Flat Top, Sealed Driver Compartment.

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Textured Architectural Bronze or Black Powdercoat Finish over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Clear UV-Stabilized Polycarbonate or Stilled Lens/Lens Clear UV-Stabilized Polycarbonate Vandal-Resistant Lens Lens to Seal LED Array.

Mounting Options: Mounting Kit with 8" Zinc-Plated Anchor Bolts, Included.

EasyLED LED: Aluminum Base

Wattage: Array: 18.6w, System: 18.1w (70w HID Equivalent) Array: 22w, System: 27.2w (70w HID Equivalent)

Driver: Electronic Driver, 120-277V, 5000Hz, Less Than 20% THD and PF>0.90, Standard Internal Surge Protection 250V 0-10V Dimming Standard for a Dimming Range of 100% to 10%, Dimming Source Current is 150 Microamps.

Controls: Custom Ordered with Factory-Installed Motion Sensor Controls are Internally Wired for 24Vdc and/or 1-10V Dimming Within the Housing. Remote Direct Wired Interface 4-5 1/2" Dimming is Not Imped and May Not Be Available. Please Contact Factory. Remote Interface with LEDP Controls are Not for Function Property With Controls Supplied by Others. Features are NOT Designed for Use with Line Voltage Dimmers.

Warranty: 5-Year Warranty for -40°C to +50°C Environment. See Page 3 for Projected Lumen Maintenance Table.

PEMCO LIGHTING PRODUCTS A QSSI COMPANY

SWAN2 STRAIGHT SHADE

GOOSENECKS

187,000 Hours

PEMCO's Swan2 Vaporproof Straight Shade Gooseneck LED light luminaire is available with 5 Gooseneck arms of various lengths and is designed to replace HID lighting systems up to 175w MH or HPS. This vapor resistant luminaire can withstand extreme physical and environmental abuse and is ideal for retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities. Designed for architectural wall mounting up to heights of 20 feet based on light level and uniformity requirements.

SWAN2 Specifications and Features:

Housing: Heavy Duty Die Cast Aluminum Housing with Integral Heat Striking, 1/2" NPS Threaded Mount.

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

EasyLED LED: Aluminum Base

Wattage: Array: 22w, System: 27.2w (70w HID Equivalent)

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

EasyLED LED: Aluminum Base

Wattage: Array: 22w, System: 27.2w (70w HID Equivalent)

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

Order Information Example: CAV13RF1X16USKC236SF									
Model	Optics	Wattage	Driver	CCT	Lens	Color	Height	Options	
CAV13R-Round Bollard	Flt/Flt Beam Spread	1X18-15w	U-120-277V	3K-3000K	Q-Clear UV-Stabilized Polycarbonate Lens	Z-Bronze	36"-10" Height	8F-Single Face	
CAV13S-Square Bollard	Flt/Flt Beam Spread	1X18-15w	U-120-277V	3K-3000K	Q-Clear UV-Stabilized Polycarbonate Lens	Z-Bronze	36"-10" Height	8F-Single Face	

Order Information Example: SWAN2F1X23USKRGNFDF									
Model	Optics	Wattage	Driver	CCT	Color	Mounting	Options		
SWAN2F-Flt/Flt Beam Spread	Flt/Flt Beam Spread	1X23-23w	U-120-277V	3K-3000K	Z-Bronze	8F-Single Face			
SWAN2S-Straight	Flt/Flt Beam Spread	1X23-23w	U-120-277V	3K-3000K	Z-Bronze	8F-Single Face			

Order Information Example: GNA01336RS									
Model	Length	Color	Mounting	Options					
GNA013-Classic Hook	36"-10"	Z-Bronze	8F-Single Face						
GNA023-Straight	36"-10"	Z-Bronze	8F-Single Face						
GNA033-Straight	36"-10"	Z-Bronze	8F-Single Face						
GNA043-Straight	36"-10"	Z-Bronze	8F-Single Face						
GNA053-Straight	36"-10"	Z-Bronze	8F-Single Face						

PEMCO LIGHTING PRODUCTS A QSSI COMPANY

SWAN2 STRAIGHT SHADE

GOOSENECKS

187,000 Hours

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SWAN2 Specifications and Features:

Housing: Heavy Duty Die Cast Aluminum Housing with Integral Heat Striking, 1/2" NPS Threaded Mount.

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

EasyLED LED: Aluminum Base

Wattage: Array: 22w, System: 27.2w (70w HID Equivalent)

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PEMCO LIGHTING PRODUCTS A QSSI COMPANY

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PEMCO's Swan2 Vaporproof Straight Shade Gooseneck LED light luminaire is available with 5 Gooseneck arms of various lengths and is designed to replace HID lighting systems up to 175w MH or HPS. This vapor resistant luminaire can withstand extreme physical and environmental abuse and is ideal for retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities. Designed for architectural wall mounting up to heights of 20 feet based on light level and uniformity requirements.

SWAN2 Specifications and Features:

Housing: Heavy Duty Die Cast Aluminum Housing with Integral Heat Striking, 1/2" NPS Threaded Mount.

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

EasyLED LED: Aluminum Base

Wattage: Array: 22w, System: 27.2w (70w HID Equivalent)

Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

EasyLED LED: Aluminum Base

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Listing & Ratings: CSA Listed for Wet Locations, ANSIUL 1586, 8750 1586 Sealed LED Compartment.

Finish: Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens: Flat Clear Tempered Glass Lens

Mounting: Flush Mount

OWNER: Angiollilo Management Group Inc. 99 Walnut Street, Saugus, MA 01906

DWG. NO. C-4

DRAWING TITLE: Lighting Plan

PROJECT: Site Development Plan 39 & 41 Hillside Avenue Amesbury, Massachusetts

PROJECT #: 21-76801

DATE: October 26, 2021

SCALE: AS NOTED

DWG FILE NAME: 21-76801.dwg

CHECKED BY: Richard A. Salvo P.E.

DESIGN BY: Max Friedman

Professional Engineer for Engineering Alliance, Inc.

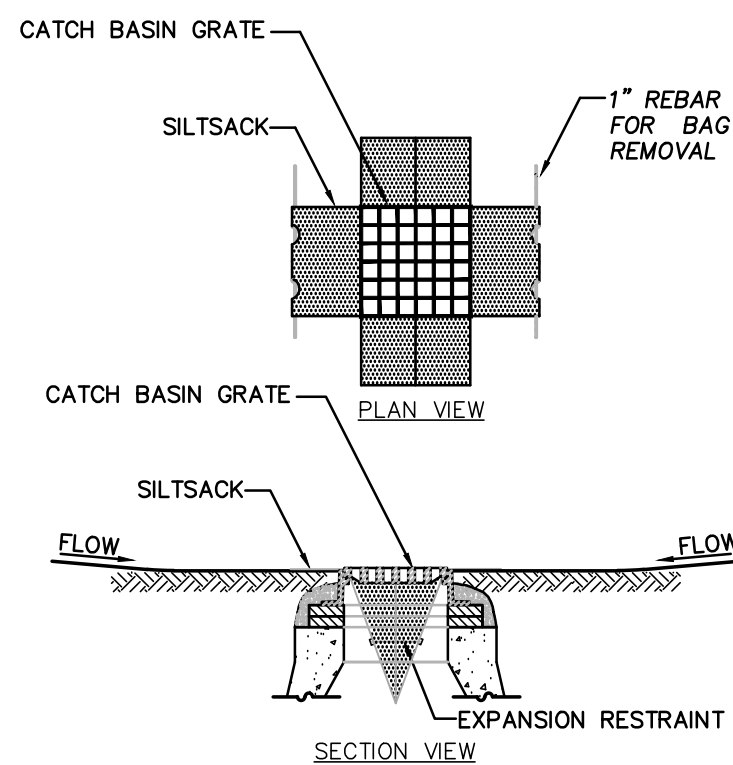
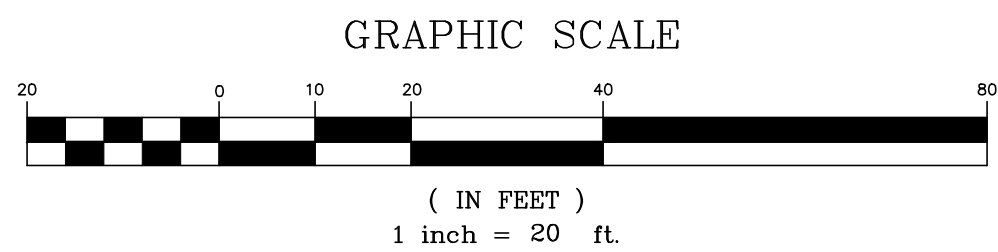
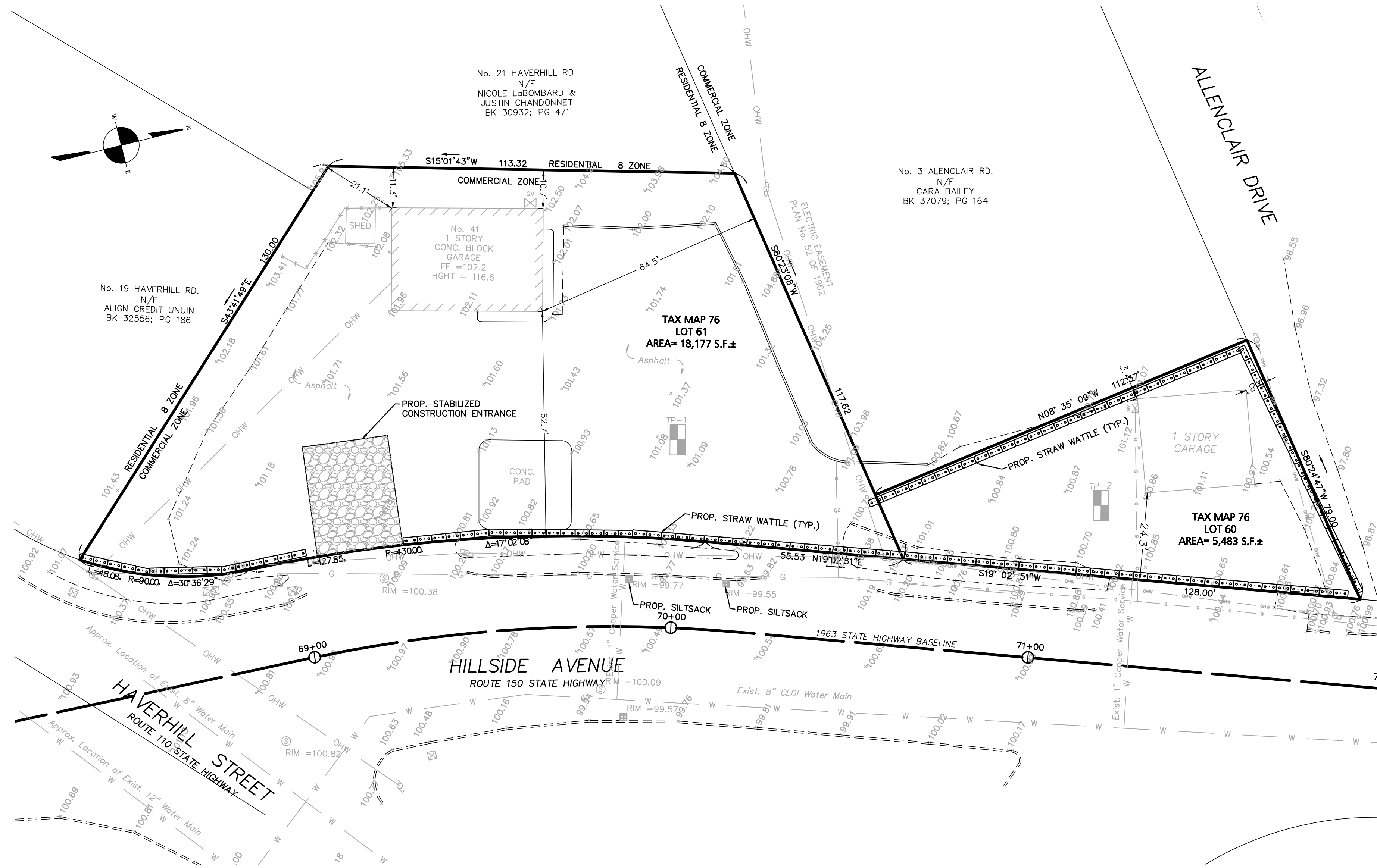
PREPARED BY: Engineering Alliance, Inc. Civil Engineering & Land Planning Consultants 194 Central Street, Saugus, MA 01906

11/22/21

DATE

REVISED PER DESIGN REVIEW COMMENTS

DESCRIPTION OF REVISION

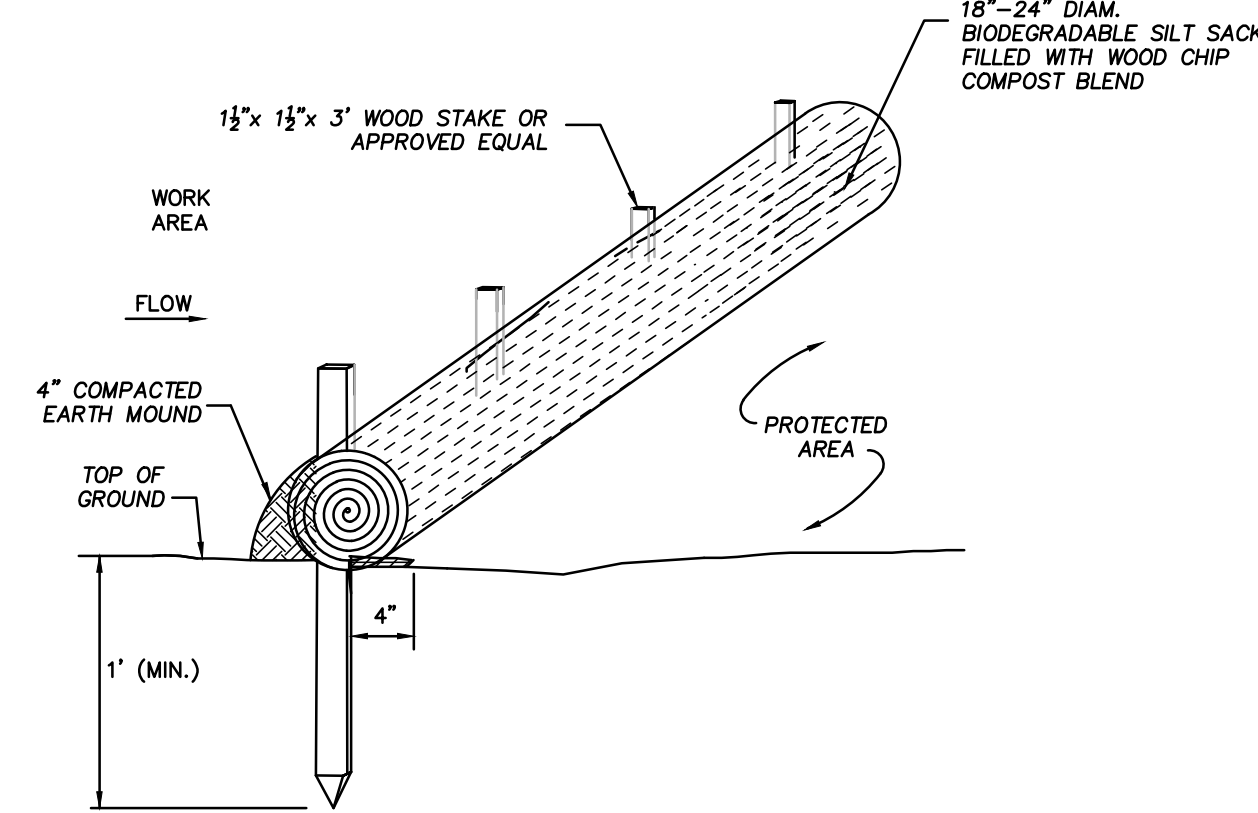


- NOTES:
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 2. GRATE TO BE PLACED OVER SILTSACK.
 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

SILTSACK SEDIMENT TRAP
NOT TO SCALE

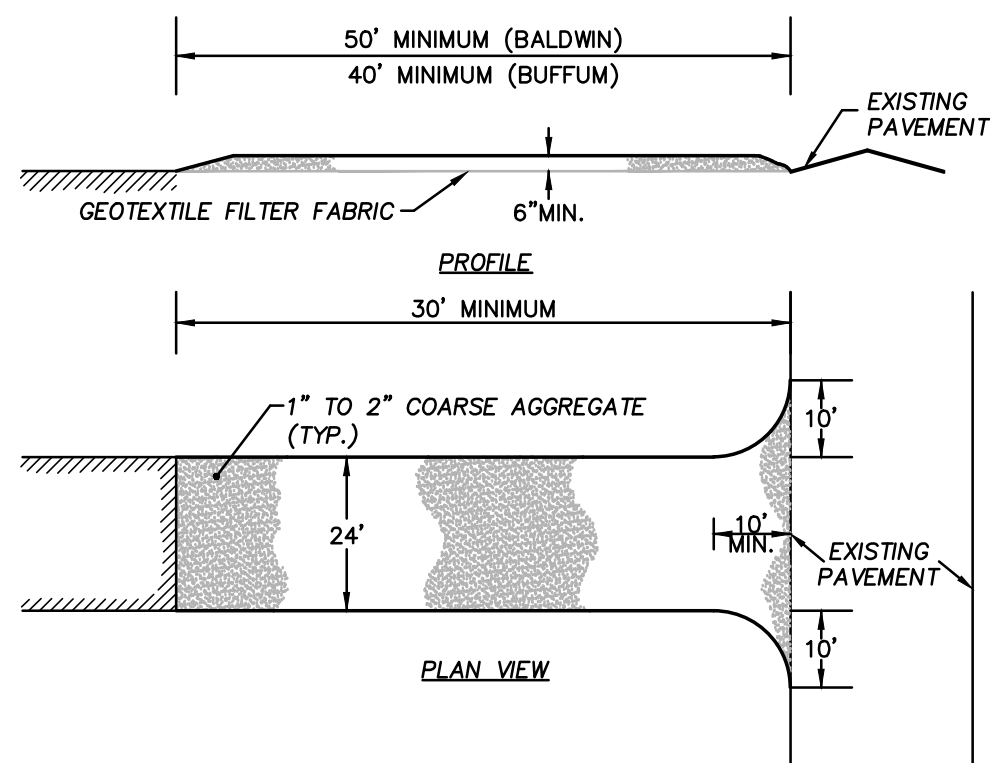
LEGEND - EXISTING CONDITIONS PLAN

PROPERTY LINE	— — — — —
EXISTING BUILDING	▨ ▨ ▨ ▨ ▨
EXISTING EDGE OF PAVEMENT	=====
EXISTING CURB	=====
EXISTING CHAIN LINK FENCE	=====
EXISTING WATER LINE	— W — W — W —
EXISTING WATER VALVE	WV
EXISTING HYDRANT	HY
EXISTING SEWER LINE	— S — S — S —
EXISTING SEWER MANHOLE	⊙
EXISTING GAS LINE	— G — G — G —
EXISTING GAS VALVE	GV
EXISTING UTILITY POLE	⊙
EXISTING SPOT SHOT	X 99.99



STRAW WATTLE DETAIL
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:
1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
 4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
 5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
 6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

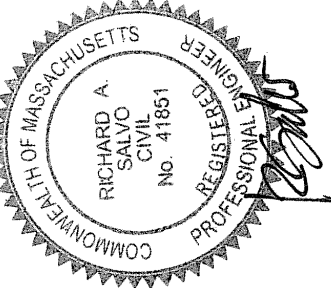
PREPARED BY:

PROJECT:

OWNER:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (603) 610-7100
Fax: (603) 610-7101

Site Development Plan
39 & 41 Hillside Avenue
Amesbury, Massachusetts

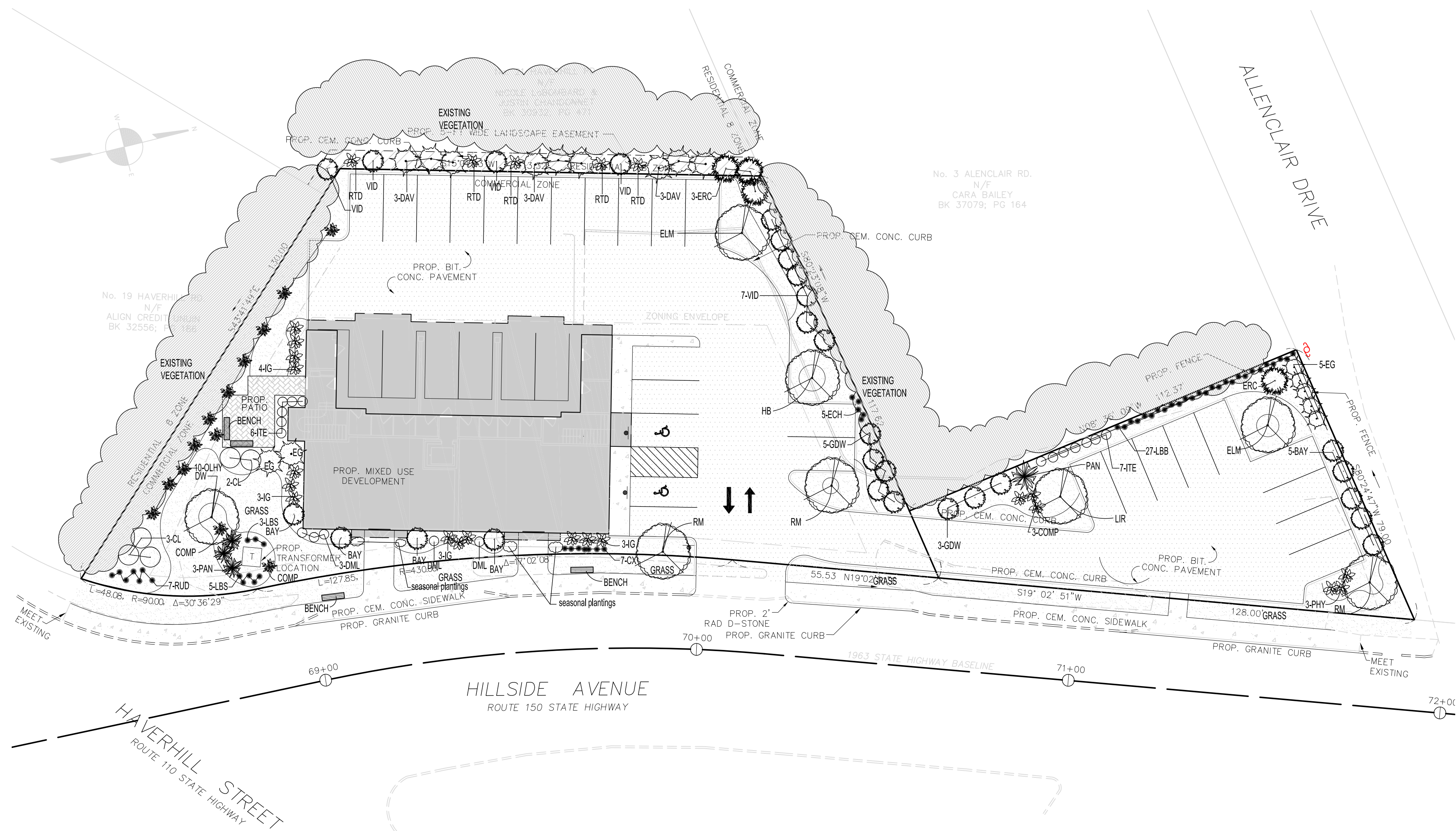


Angiolillo Management Group Inc.
99 Walnut Street
Saugus, MA 01906

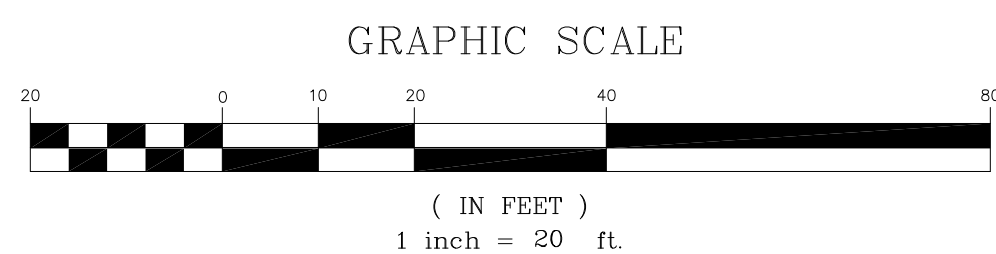
DWG. NO. **C-5**
DRAWING TITLE: **Erosion Control Plan**

PROJECT #: 21-76801
SCALE: AS NOTED
DESIGN BY: Max Friedman
DATE: October 26, 2021
DWG FILE NAME: 21-76801.dwg
CHECKED BY: Richard A. Salvo P.E.

REVISOR: 11/22/21
DATE: 11/22/21
DESCRIPTION: PER DESIGN REVIEW COMMENTS

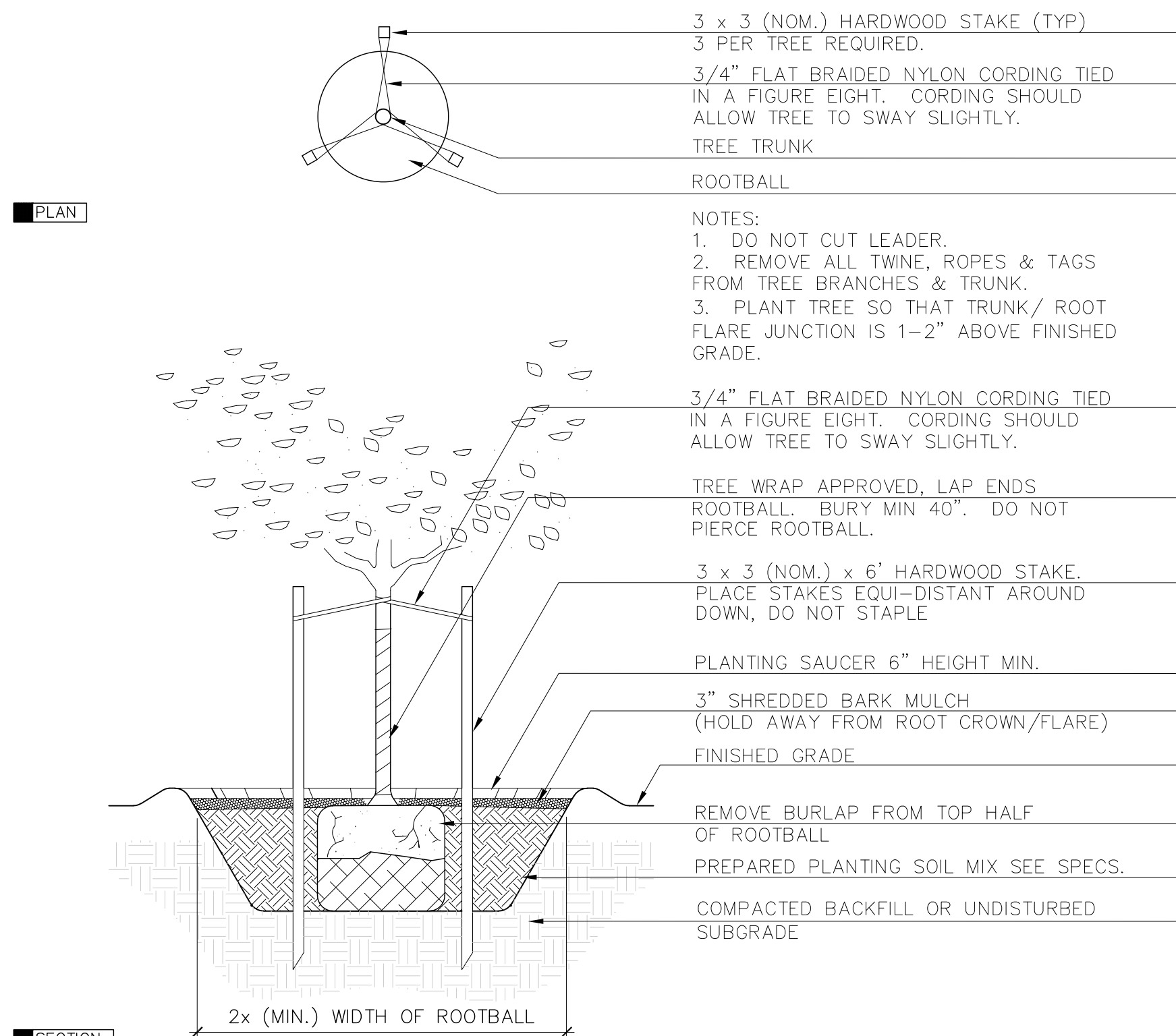


PLAN
1 LANDSCAPE PLAN
SCALE: 1" = 20'

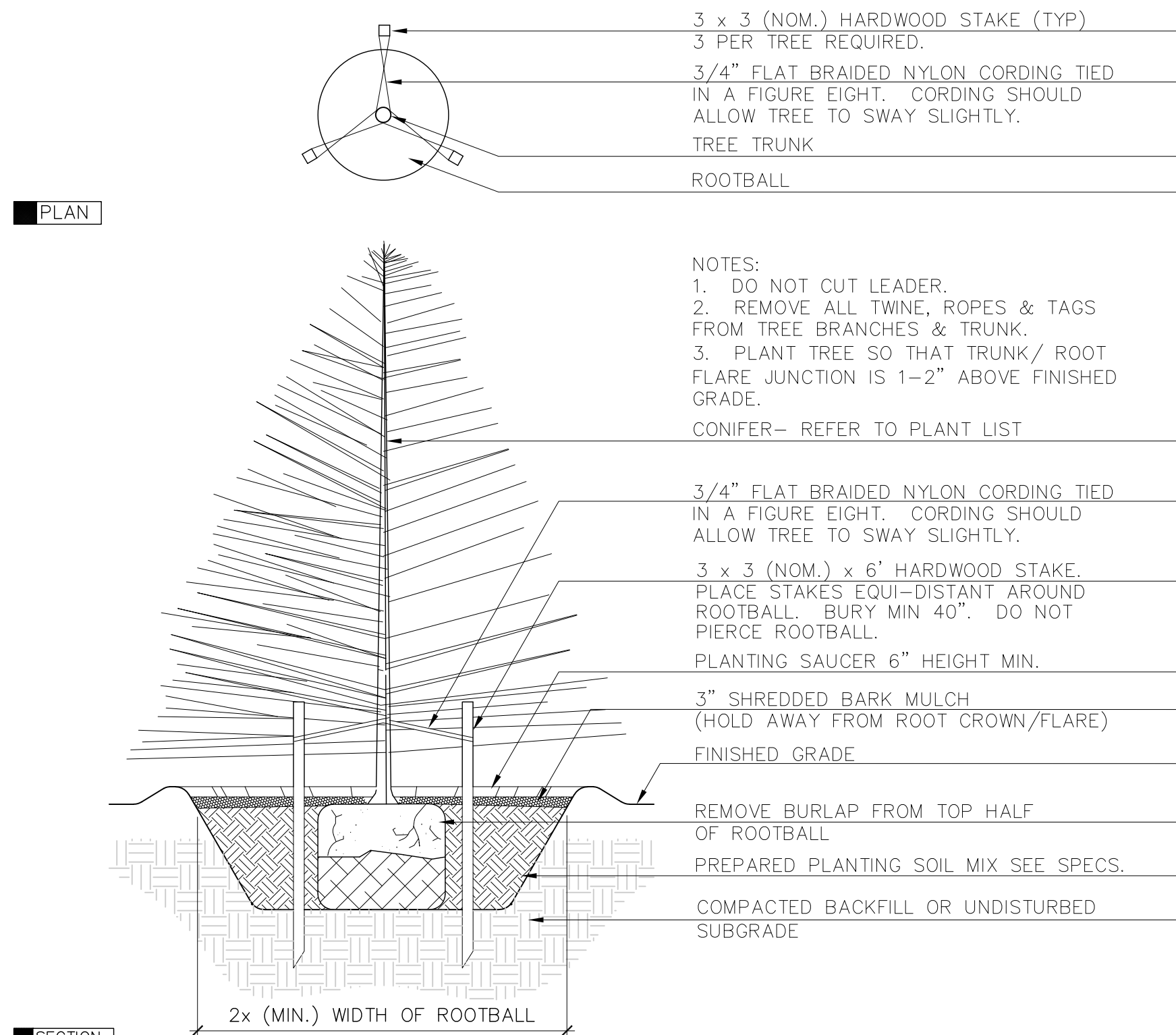


Plant Schedule

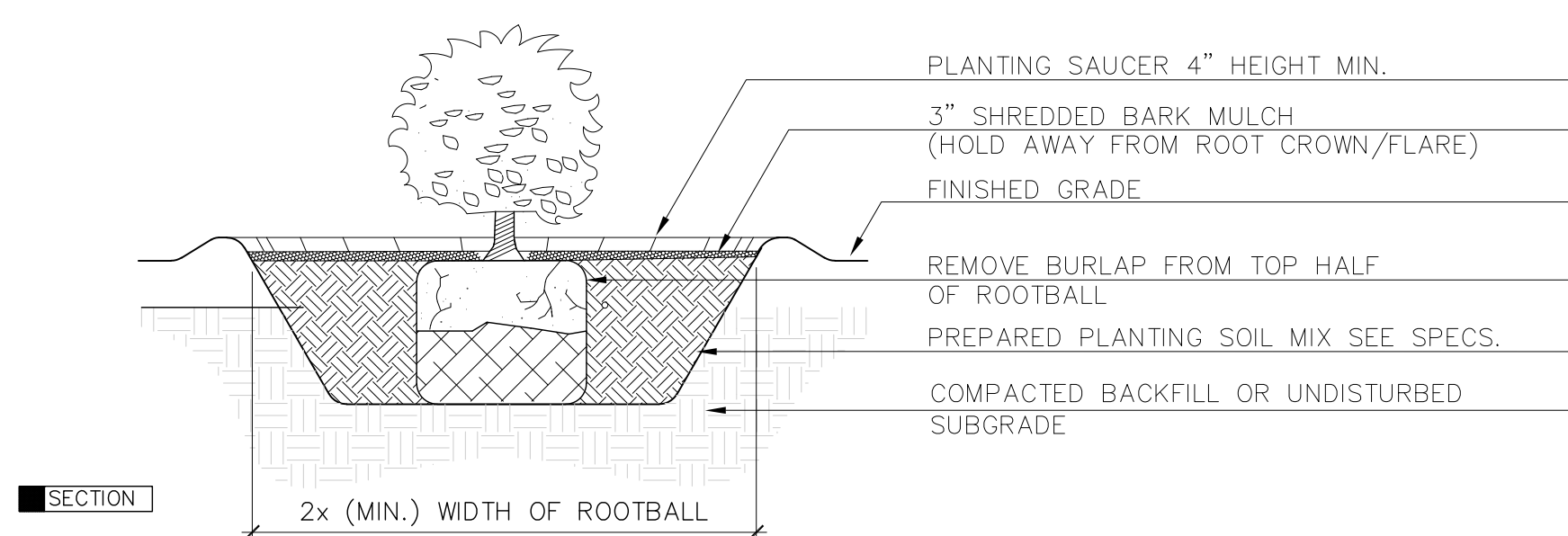
Qty	Key	Botanical Name	Common Name	Size
TREES:				
1	DW	Cornus florida	White Dogwood	2-2.5"cal
2	ELM	Ulmus americana 'Princeton'	Princeton Elm	2-2.5"cal
1	HB	Betula nigra 'Heritage'	Heritage Birch	2-2.5"cal
1	LIR	Liriodendron tulipifera	Tuliptree	10-12'
3	RM	Acer rubrum 'Red Sunset'	Red Sunset Maple	2-2.5"cal
SHRUBS:				
9	BAY	Myrica pensylvanicum	Northern Bayberry	#3pot
5	CL	Clethra alnifolia	Sweet Pepper	#3pot
5	COMP	Comptonia peregrina	Sweetfern	#3pot
9	DAV	Thuja occidentalis 'Nigra'	Dark American Arborvitae	6-7'
5	DML	Kalmia angustifolia	Sheep Laurel	#3pot
7	EG	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6-7'
4	ERC	Juniperus virginiana	Eastern Red Cedar	6-7'
8	GDW	Cornus racemosa	Grey Dogwood	#3pot
13	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	#3pot
13	ITE	Itea virginica 'Little Henry'	Little Henry Virginia Sweetspire	#3pot
27	LBB	Vaccinium angustifolium	Lowbush Blueberry	#2pot
10	OLHY	Hydrangea quercifolia	Oak Leaf Hydrangea	#3pot
3	PHY	Physocarpus 'Tiny Wine'	Tiny Wine Ninebark	#3pot
5	RTD	Cornus alba 'Elegantissima'	Variegated Red Twig Dogwood	#3pot
11	VID	Viburnum dentatum	Arrowwood	3-4'
GRASSES/PERENNIALS:				
7	CX	Carex pensylvanica	Pennsylvania Sedge	#1pot
5	ECH	Echinacea	Purple Coneflower	#1pot
8	LBS	Schizachyrium scoparium	Little Bluestem	#1pot
4	PAN	Panicum virgatum	Switchgrass	#2pot
7	RUD	Rudbeckia	Black Eyed Susan	#1pot



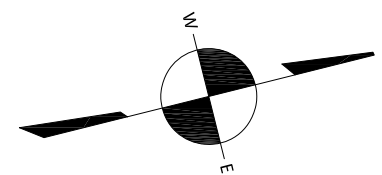
2 DECIDUOUS TREE PLANTING AND STAKING
SCALE: N.T.S.



3 CONIFEROUS TREE PLANTING AND STAKING
SCALE: N.T.S.



4 SHRUB PLANTING
SCALE: N.T.S.



APPLICANT

Angiolillo Management Group, Inc.
99 Walnut Street
Saugus, MA 01906

REVISIONS

NO.	DESCRIPTION	DATE

Landscape Plan

39-41 Hillside Ave.
Amesbury, MA

DRAWING TITLE

Landscape Plan



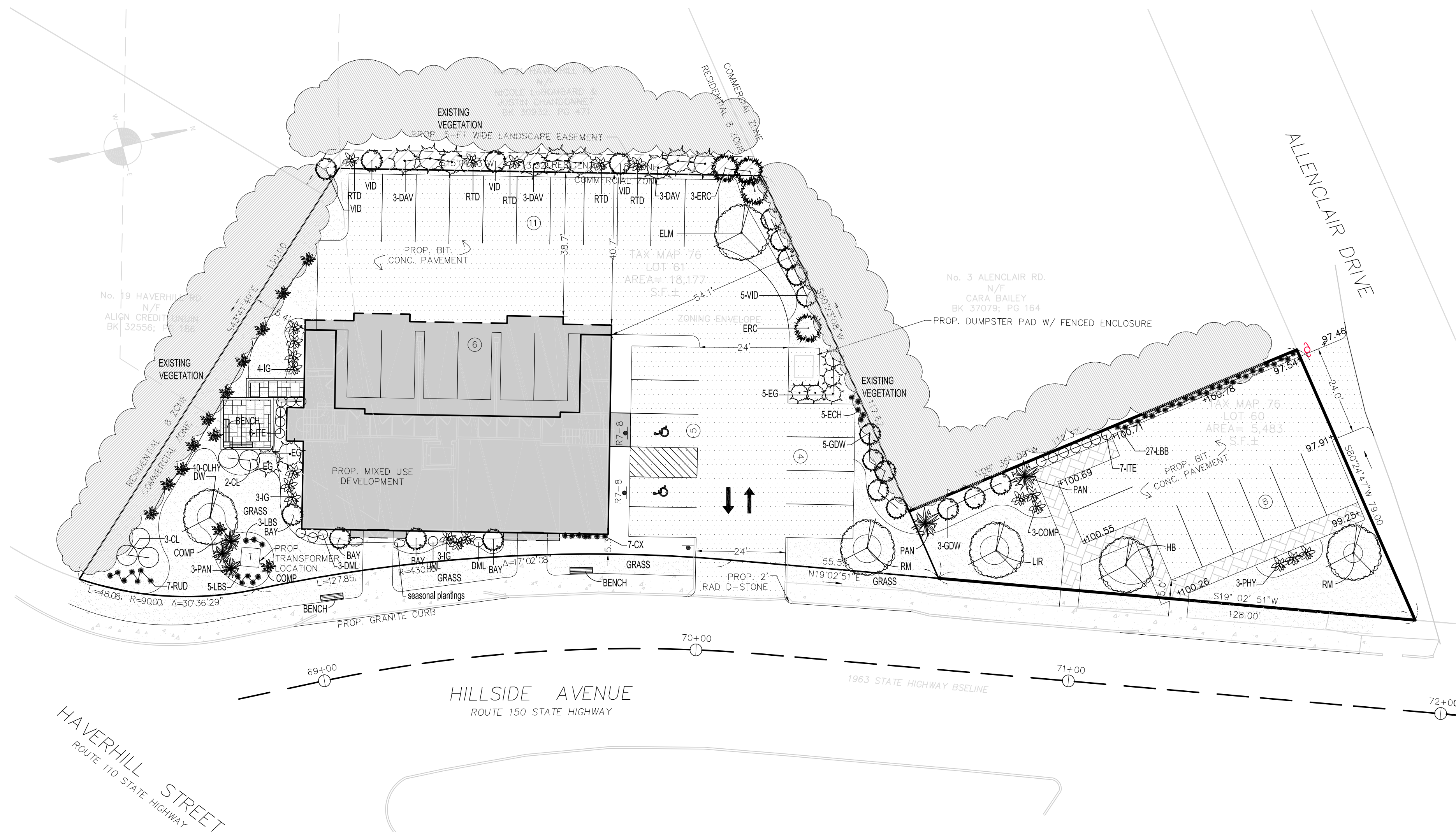
james k. emmanuel | associates
LANDSCAPE ARCHITECTS

22 Carlton Rd.
Marblehead, MA 01945
tel. (781) 622-7487
james@jamesemmanuel.com
www.jamesemmanuel.com

SCALE 1" = 20'
DRAWN BY JKE
CHECKED
DATE November 15, 2021

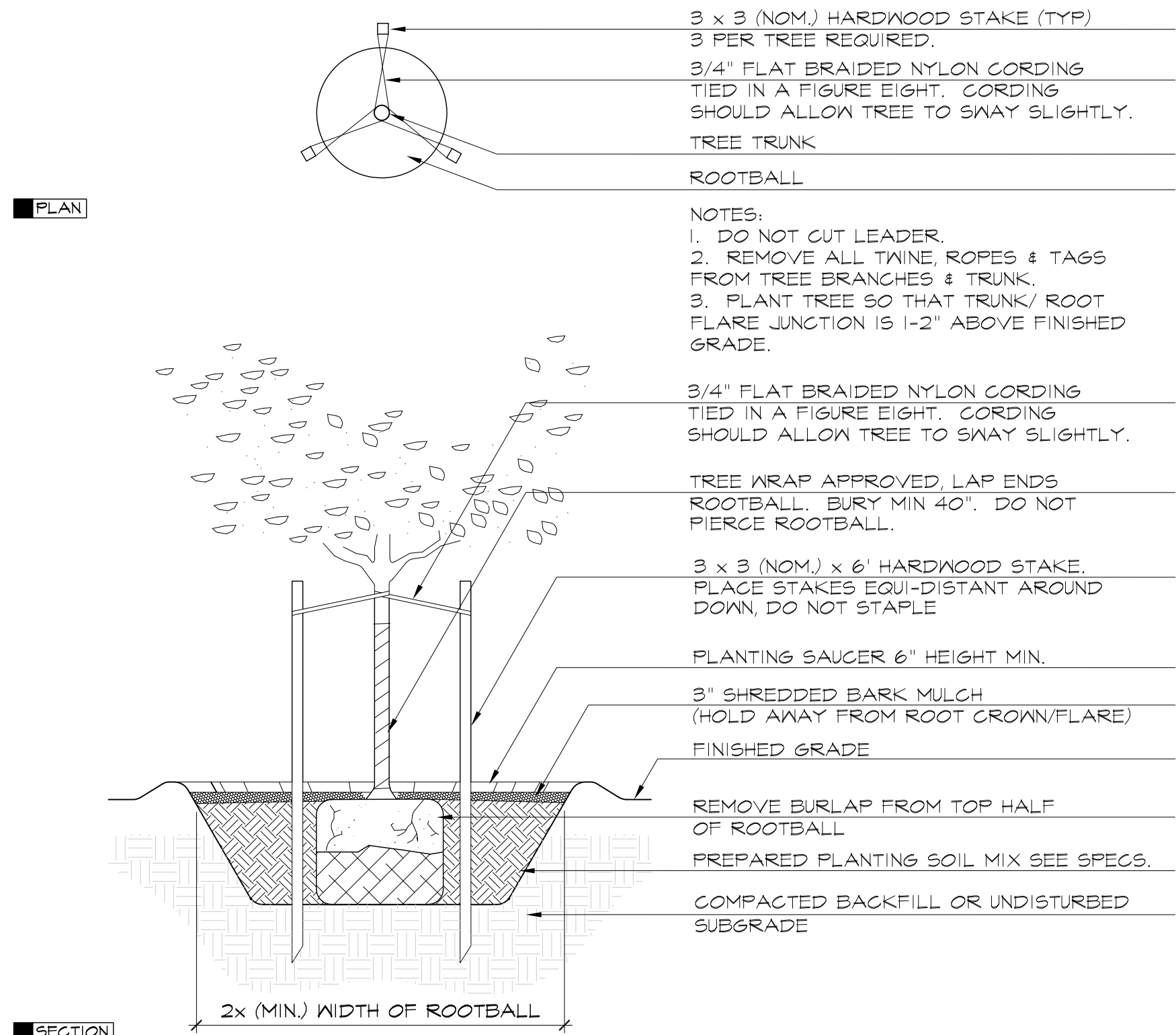
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L-1

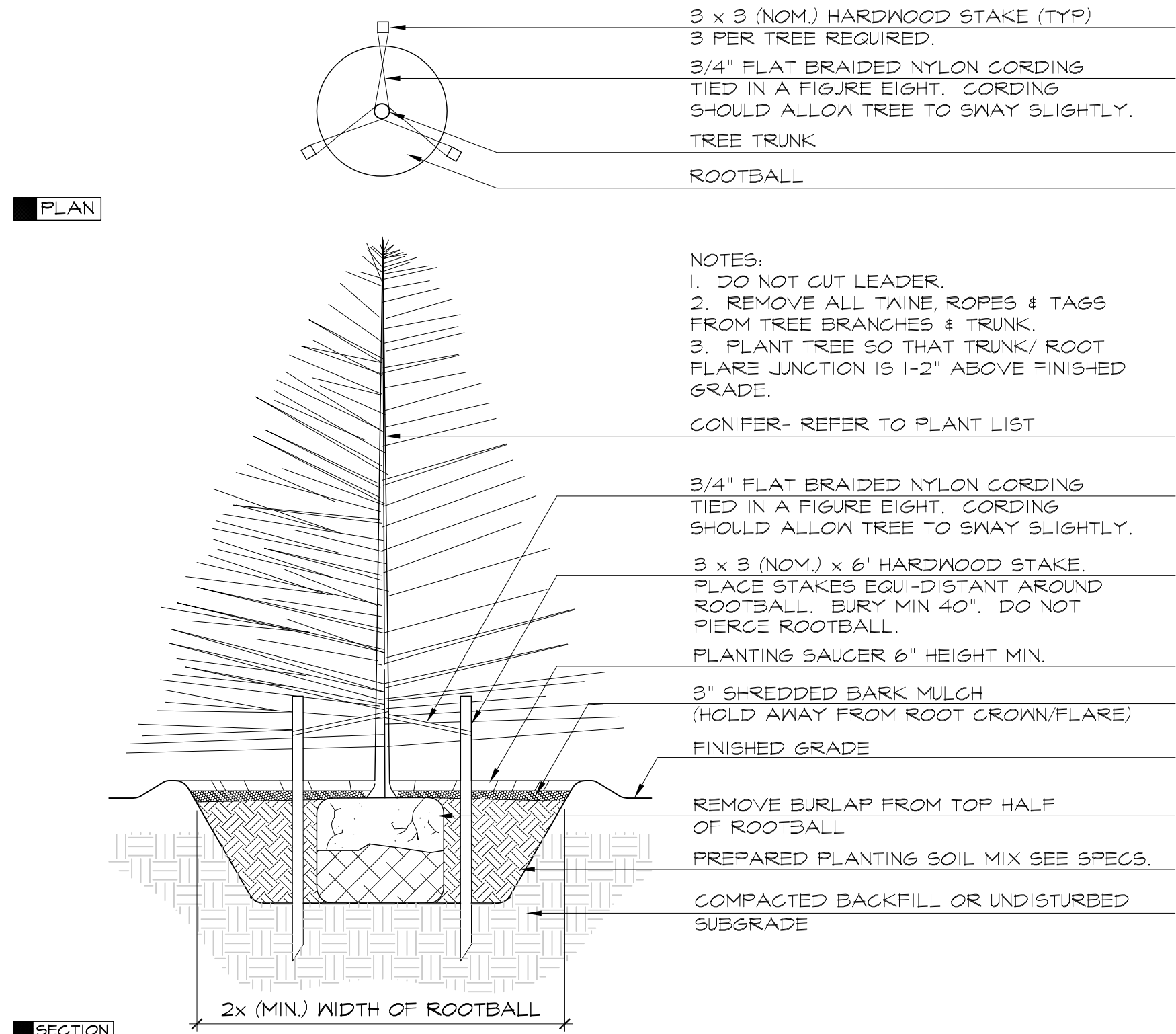


LANDSCAPE PLAN
SCALE: 1" = 20'

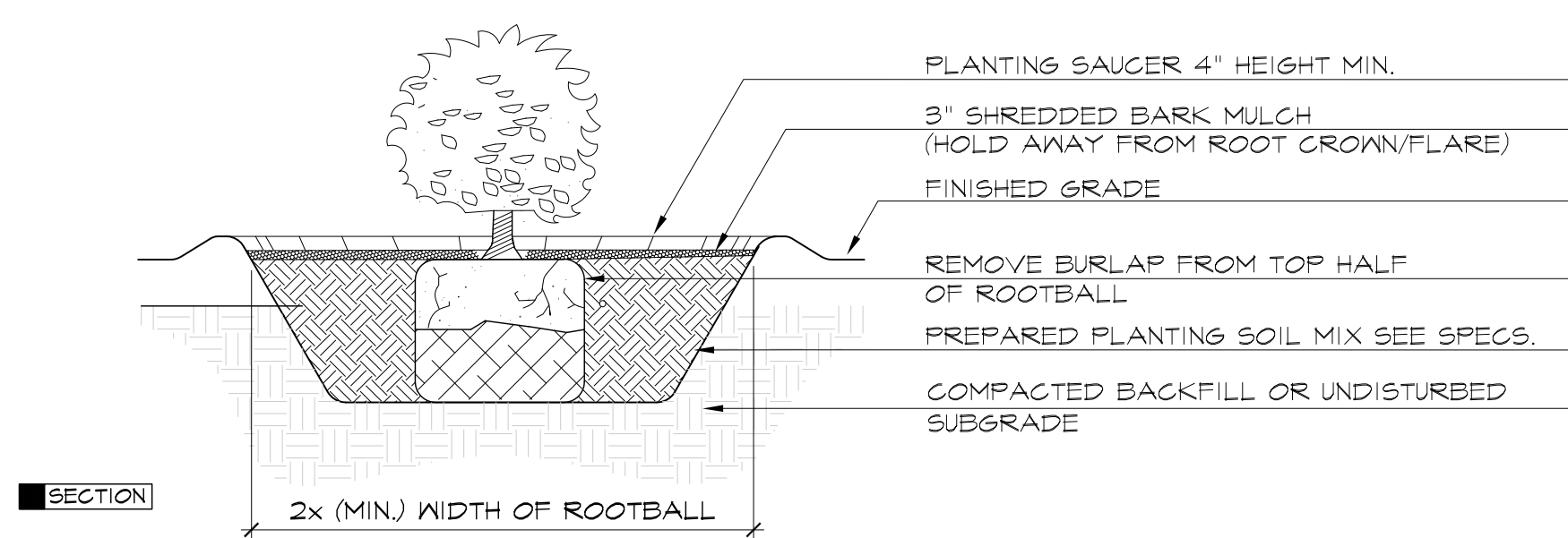
Plant Schedule				
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5	PAN	Panicum virgatum	Switchgrass	#2pot
7	RUD	Rudbeckia	Black Eyed Susan	#1pot



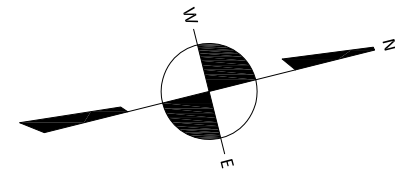
DECIDUOUS TREE PLANTING AND STAKING
SCALE: N.T.S.



CONIFEROUS TREE PLANTING AND STAKING
SCALE: N.T.S.



SHRUB PLANTING
SCALE: N.T.S.



APPLICANT

Angiolillo Management Group, Inc.
99 Walnut Street
Saugus, MA 01906

REVISIONS

Landscape Plan

39-41 Hillside Ave.
Amesbury, MA

DRAWING TITLE

Landscape Plan

james k. emmanuel | associates
LANDSCAPE ARCHITECTS

22 Carlton Rd.
Marblehead, MA 01945
tel. (781) 622-7487
james@jamesemmanuel.com
www.jamesemmanuel.com

SCALE 1" = 20'
DRAWN BY JKE
CHECKED
DATE November 4, 2021

DRAWING NUMBER

L-1

C - COMMERCIAL ZONE

USE
MULTI-FAMILY USE REQUIRES SPECIAL PERMIT (S1)
GENERAL RETAIL SALES AND SERVICE, RESTAURANT FAST FOOD - BY RIGHT

SITE SIZE
20,000 SQFT MINIMUM (PARCEL SIZE CONFORMS)
100 FT - MINIMUM FRONTAGE (MINIMUM FRONTAGE PROVIDED)

39 HILLSIDE AVENUE = 5,483 sqft
41 HILLSIDE AVENUE = 18,177 sqft (PARCEL SIZES TO BE CONFIRMED)
±23,660 sqft

40% MAX BUILDING COVERAGE = 9,464 sqft (PROPOSED LAYOUTS WILL CONFORM)
30% OPEN SPACE REQUIREMENT = 7,098 sqft (PROPOSED LAYOUTS WILL CONFORM)
(CAN BE REDUCES TO 15% IF PROJECT IS A MIXED-USE BUILDING)
15% = 6,078 sqft

SETBACKS
20'-0" FRONT YARD SETBACK (REDUCED TO 5' IF PROJECT IS A MIXED-USE BUILDING)
15'-0" SIDE YARD SETBACK (PROPOSED LAYOUTS WILL CONFORM)
40'-0" REAR YARD SETBACK (PROPOSED LAYOUTS WILL CONFORM)

BUILDING SIZE
40 FOOT MAXIMUM HEIGHT (PROPOSED LAYOUTS WILL CONFORM)
4.0 STORIES MAXIMUM (PROPOSED LAYOUTS WILL CONFORM)

PARKING
APARTMENT HOUSE - 1.5 SPACES FOR EACH DWELLING UNIT (BASE LAYOUT: 8 UNITS x 1.5 = 12 SPACES REQUIRED)
GENERAL RETAIL - 3.3 PER 1,000 SQFT OF GFA (BASE LAYOUT: ±1,946 GSF = 7 SPACES REQUIRED)

RESTAURANT - 1 FOR EACH (4) SEATS OF TOTAL SEATING CAPACITY (TBD)

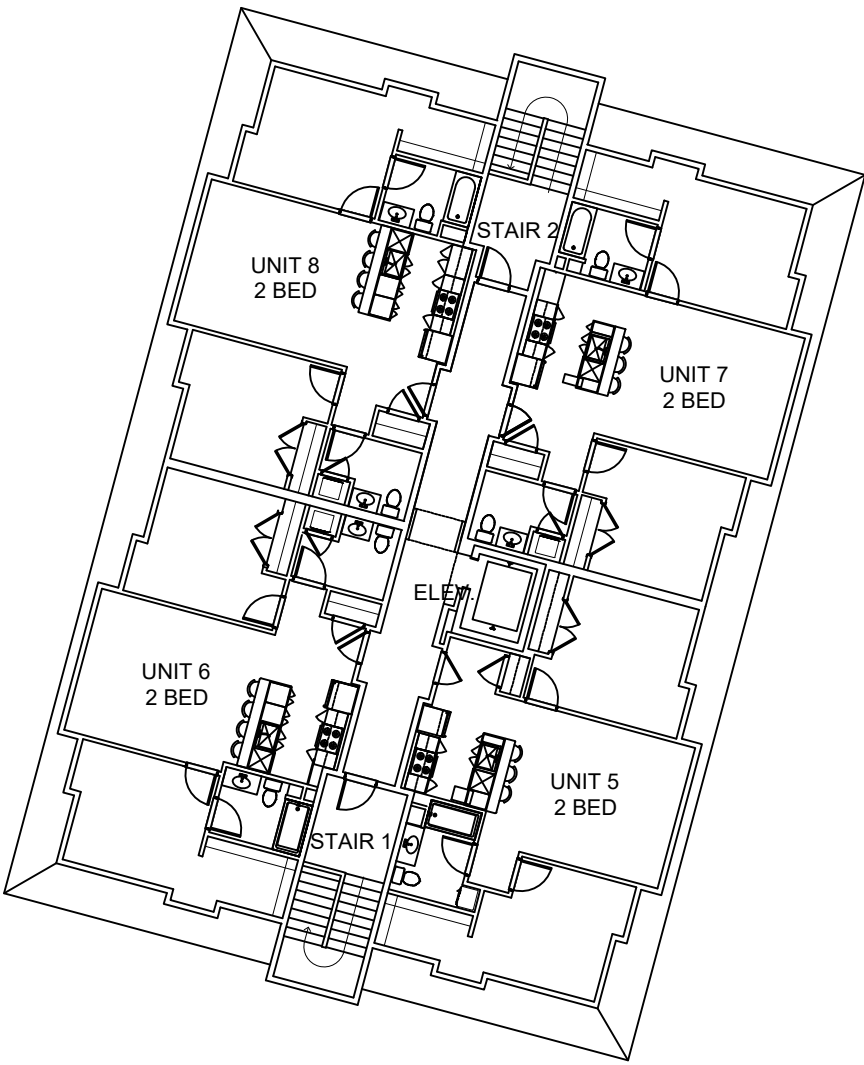
BUILDING AREA
GROUND FLOOR: BASE LAYOUT WITH 2 RETAIL SPACES = ± 2,975 GSF

SECOND FLOOR: BASE LAYOUT WITH (4) 2-BEDROOM UNITS BETWEEN 970-1,045 GSF = ± 4,105 GSF
SECOND FLOOR: BASE LAYOUT WITH (4) 2-BEDROOM UNITS BETWEEN 970-1,045 GSF = ± 4,105 GSF

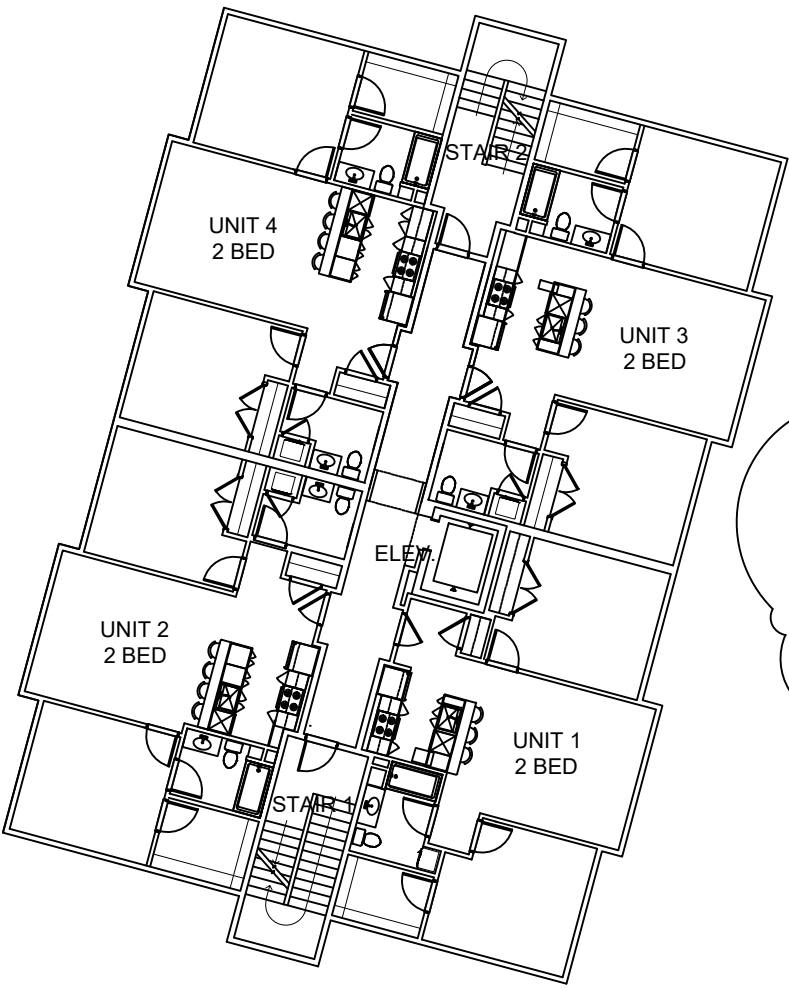
BASE LAYOUT (8 UNITS) TOTAL BUILDING AREA = ± 11,185 GSF

RELIEF REQUIRED:

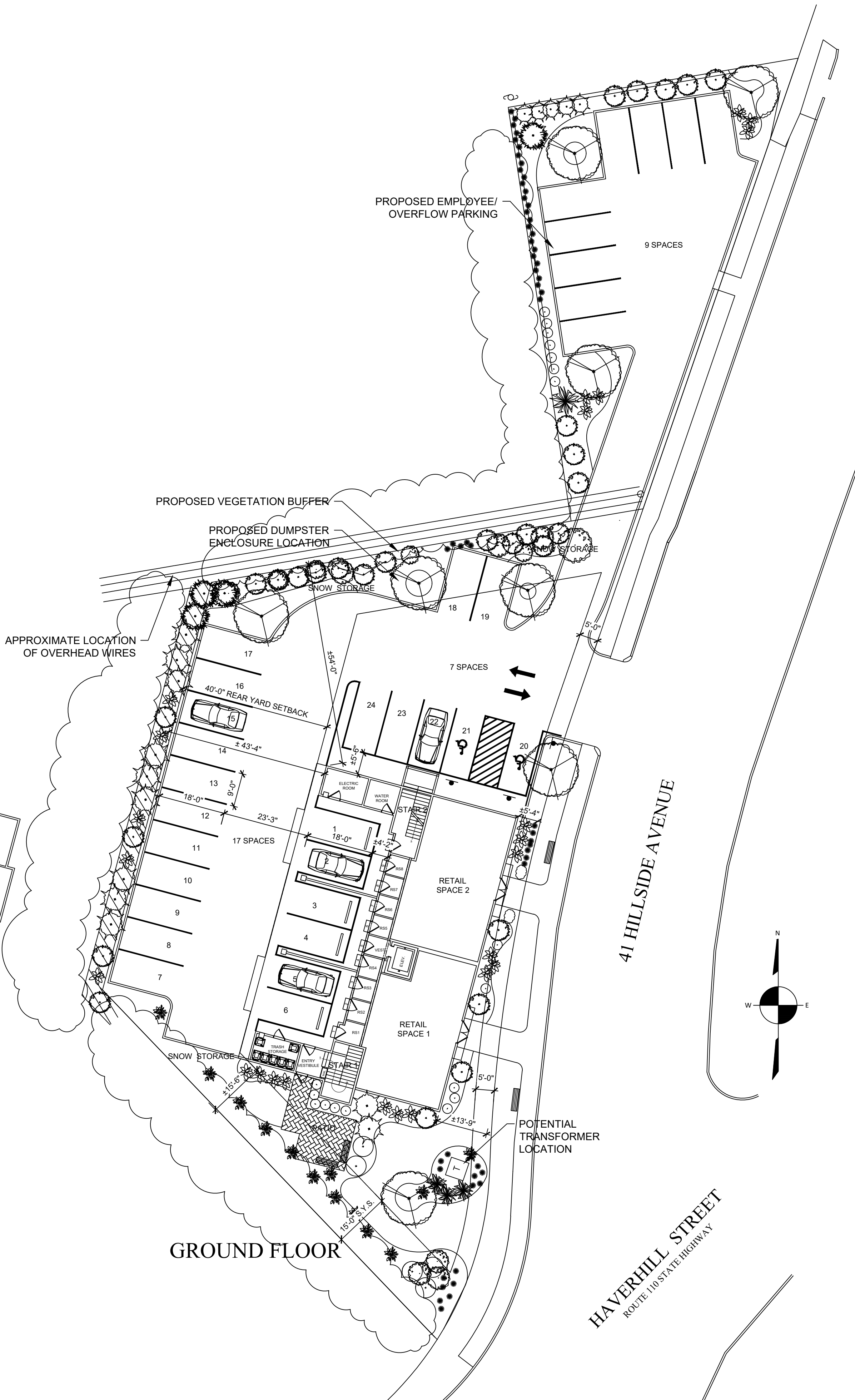
MULTI-FAMILY USE REQUIRES SPECIAL PERMIT (S1)



THIRD FLOOR



SECOND FLOOR



GROUND FLOOR

PROJECT OVERVIEW

--

Revisions	
#	Date

HILLSIDE

DMS design, llc

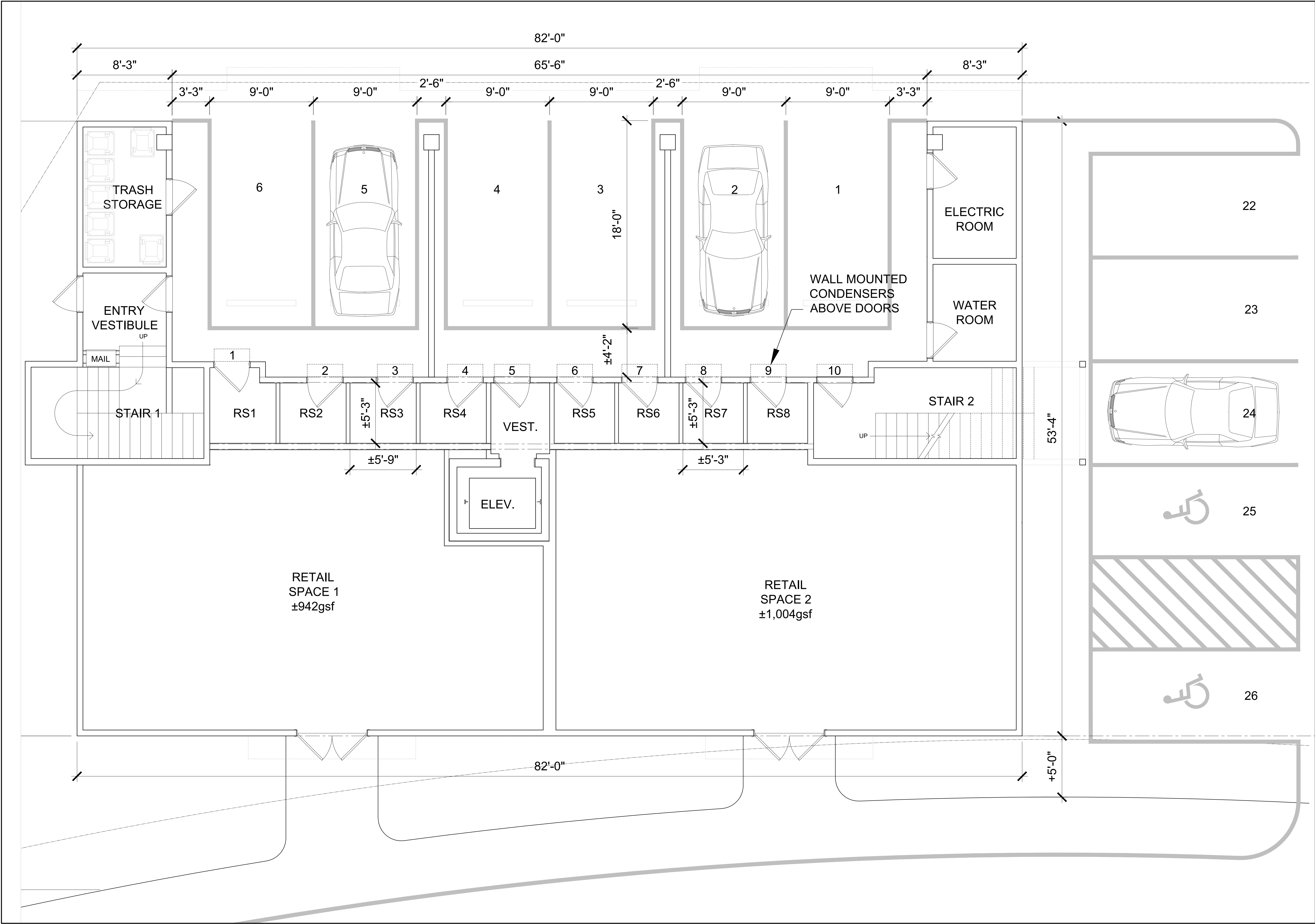
Architecture & Interior Design

5 Essex Green Drive, Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

39-41 HILLSIDE AVENUE
AMESBURY, MA

Project Design Overview	
Scale:	N.T.S.
Date:	Nov. 23, 2021
Drawn By:	DMS

A1



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Revisions	
#	Date
-	-
-	-
-	-
-	-

Angiolillo Group

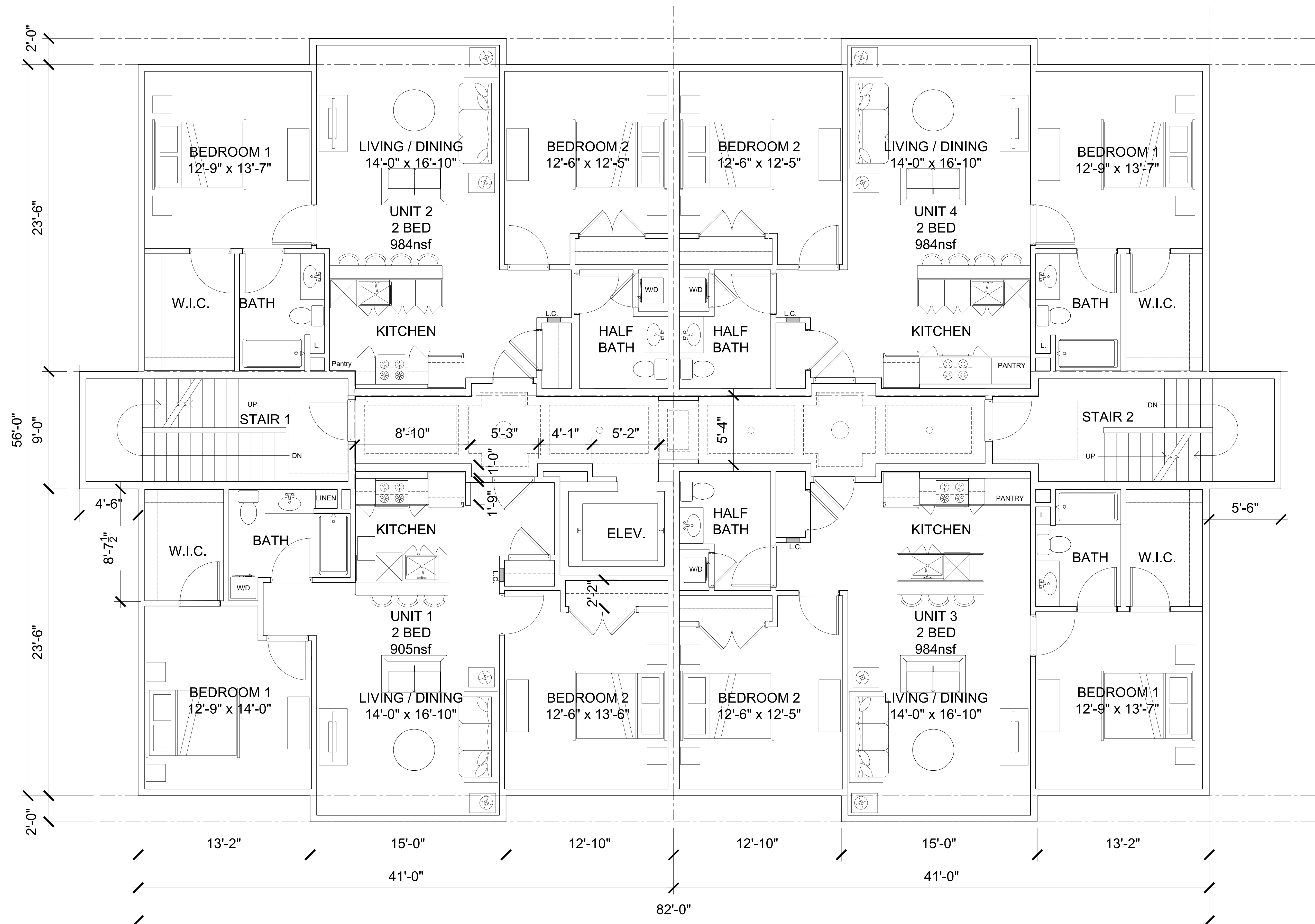
39 Hillside Avenue
Amesbury, MA 01913

DMS design, llc

Architecture & Interior Design
5 Essex Green Drive, Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Proposed First Floor Plan	Scale: 1/8" = 1'-0"
	Date: Nov. 23, 2021
	Drawn By:

A2



Revisions	
#	Date

Angiolillo Group

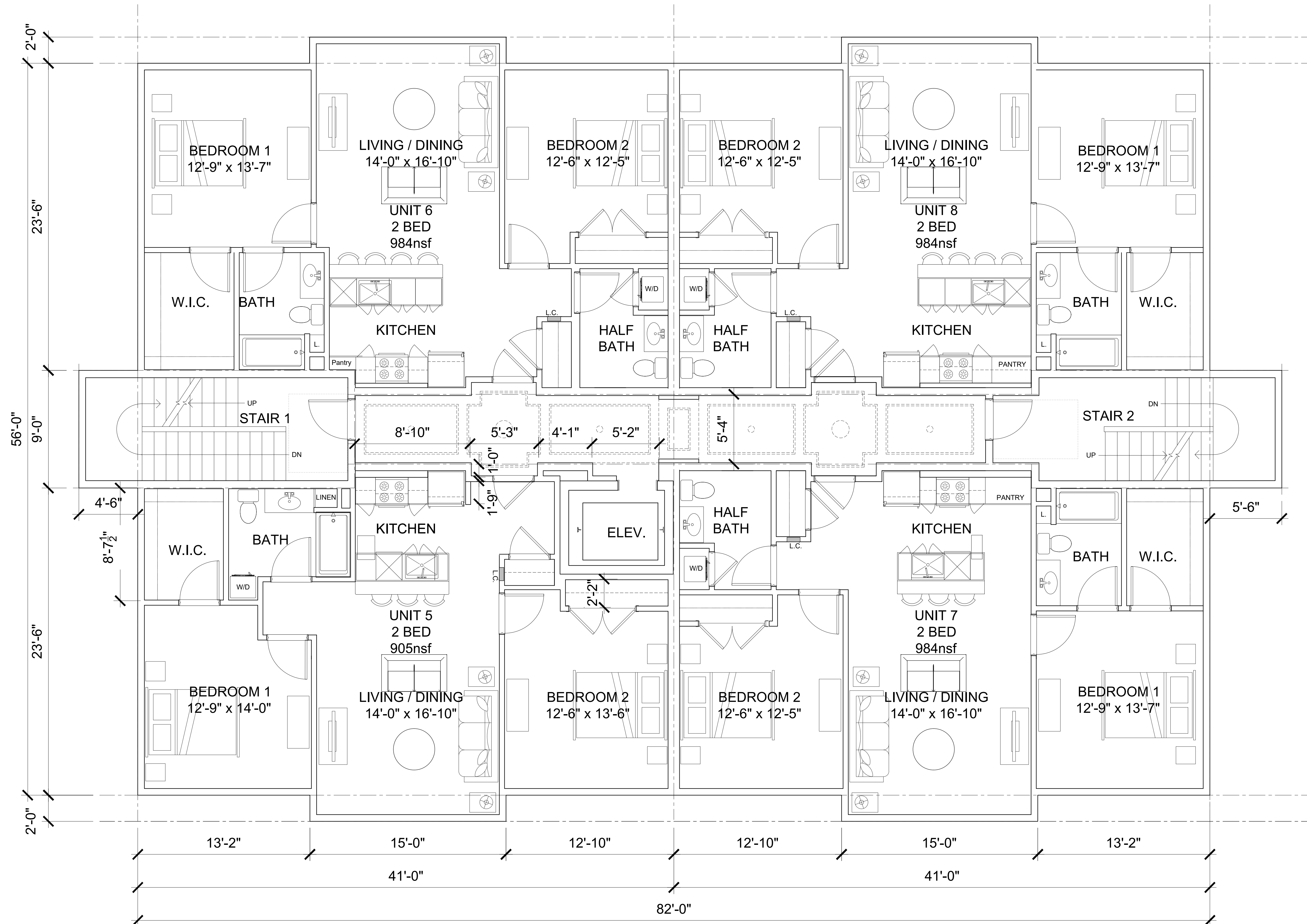
39 Hillside Avenue
Amesbury, MA 01913

DMS design, llc

Architecture & Interior Design
5 Essex Green Drive, Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Proposed
Second
Floor Plan
Scale: 1/8" = 1'-0"
Date: Nov. 23, 2021
Drawn By:

A3



Revisions	
#	Date

Angiolillo Group

39 Hillside Avenue
Amesbury, MA 01913

DMS design, llc

Architecture & Interior Design
5 Essex Green Drive, Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Proposed Third Floor Plan	Scale: 1/8" = 1'-0"
	Date: Nov. 23, 2021
	Drawn By:



2 EAST
1/4" = 1'-0"



1 SOUTH
1/4" = 1'-0"

Revisions:			
#	Reason	Date	

DMS
design,llc

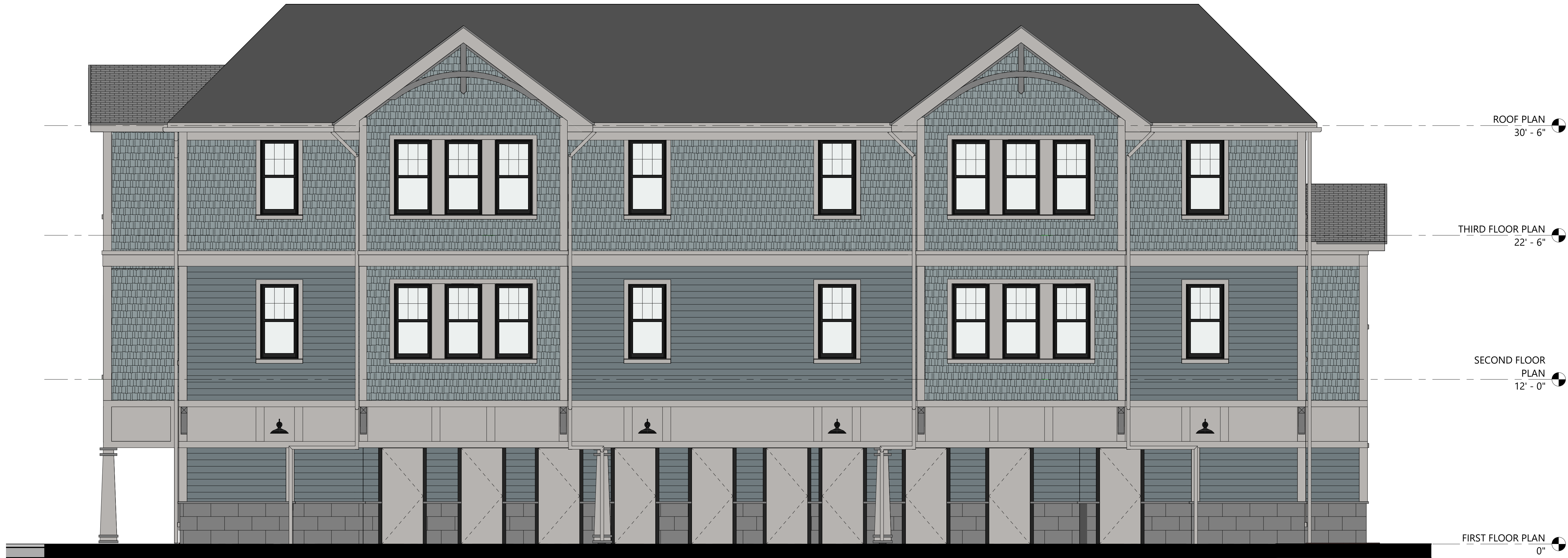
ARCHITECTURE &
INTERIOR DESIGN

5 Essex Green Drive
Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Hillside Avenue
Amesbury, MA

SOUTH AND
EAST
ELEVATIONS

Scale: 1/4" = 1'-0"
Date: November 23, 2021
Drawn By: Author



2 WEST
1/4" = 1'-0"



1 NORTH
1/4" = 1'-0"

Revisions:

#	Reason	Date



5 Essex Green Drive
Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Hillside Avenue
Amesbury, MA

NORTH AND
WEST
ELEVATIONS

Scale: 1/4" = 1'-0"
Date: November 23, 2021
Drawn By: Author

A6



Revisions:		
#	Reason	Date

DMS
design,llc

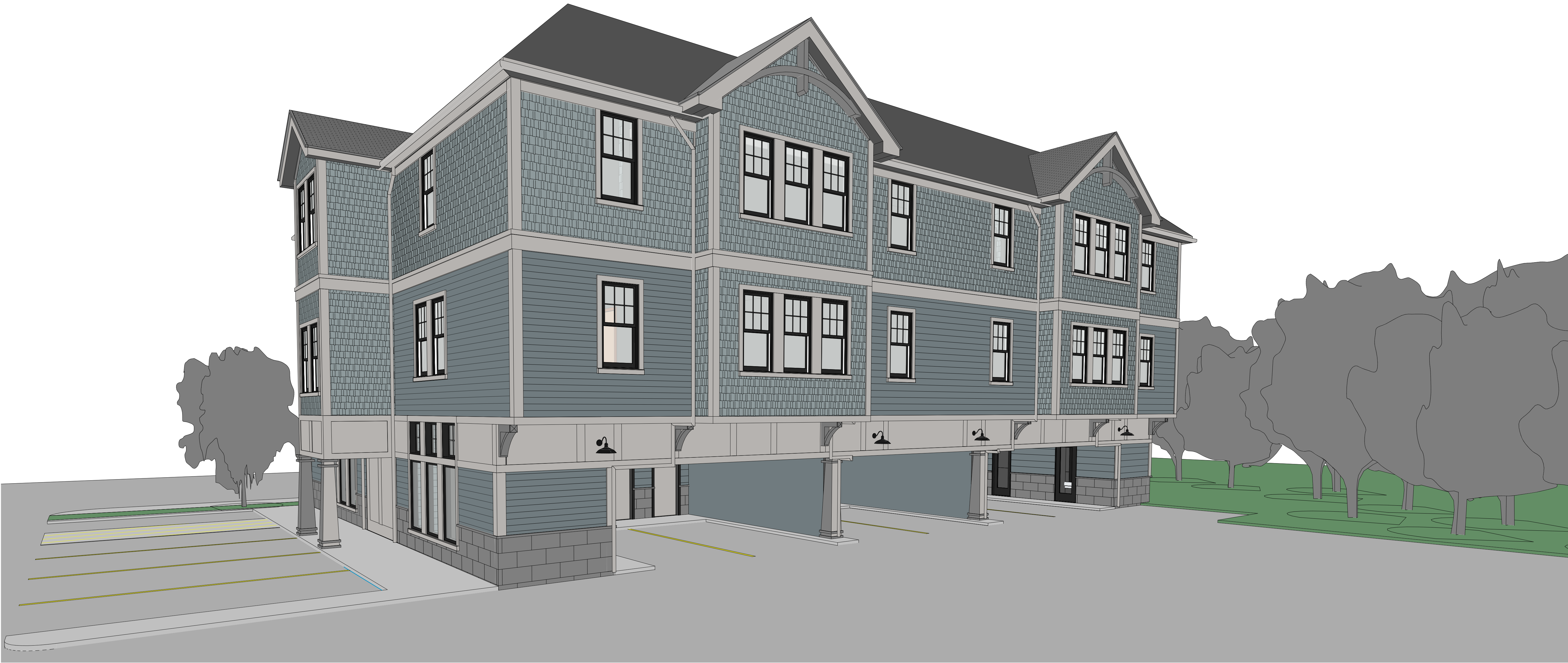
ARCHITECTURE &
INTERIOR DESIGN

5 Essex Green Drive
Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Hillside Avenue

Amesbury, MA

HILLSIDE AVE PERSPECTIVE	.2	Date: November 23, 2021	Drawn By: Author



Revisions:			
#	Reason	Date	

DMS
design,llc

ARCHITECTURE &
INTERIOR DESIGN

5 Essex Green Drive
Suite 11A
Peabody, MA 01960
Phone: 978-965-3470

Hillside Avenue
Amesbury, MA

HILLSIDE AVENUE PERSPECTIVE	1	Date:	November 23, 2021
	1	Drawn By:	Author
	1	Scale:	